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GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER FOR DIRECTION.
- TRAFFIC CONTROL STRIPING & SIGNAGE TO CONFORM TO CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE ALL PERMITTING DOCUMENTS AND DRAWINGS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK ON A PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES AND NOT PROCEED WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT OF THE BID AND TO DO THE TYPE OF WORK CONTemplated IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF/HERSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE/SHE MAY PREFER OF THE LOCATION OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS ON AND AT THE SITE OF WORK. DURING THE COURSE OF THE CONTRACT, CONTRACTOR A BODILY OR FAMILIAL FAITH OF CONDITIONS WHICH APPEAR TO HIM/HER TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE/SHE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS/HER BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE/SHE HAS RELIED AND IS RELYING ON HIS/HER OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS/HER OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK. THE CONTRACTOR SHALL NOT RELY ON THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE/SHE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS/HER BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONSEQUENTLY AND SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF EXISTING UTILITIES ON THIS PROJECT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING FOR THE REMOVAL OF IMPROVEMENTS FROM DAMAGE, COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE PLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL OR GREATER THAN THE ORIGINALS. THE ORIGINAL EXISTING FACILITIES, THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

GENERAL NOTES CONT.

- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, ADJUSTMENTS TO ALL IMPROVEMENTS AND OTHERS AS NECESSARY. UP-TO-DATE RECORD DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR, PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT AND ACCURATE AS OF THE DATE OF SUBMISSION AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTemplated AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE INTENDED AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PEAKUL AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION OF THE PROJECT, VISUAL OR SAFETY CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PEAKUL RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO EXISTING STRIPPING INTO FUTURE STRIPPING AND/OR PAVEMENT MARKINGS BY DREDGING OR DUGOUT DRAZING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKERS FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.
- ALL EXISTING UTILITIES TEND TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- UNCLASSIFIED EXCAVATION SHALL BE PROPERLY DISPOSED OF PER GOVERNMENT REGULATIONS.
- UNLESS NOTED OTHERWISE IN THE PLANS & CONSTRUCTION DOCUMENTS, USE SALT LAKE CITY STANDARD DETAILS.
- THE IMPROVEMENTS SHOULD BE CONSTRUCTED BASED ON SURVEY OF EXISTING CONDITION USED AS BASIS OF DESIGN. CONTRACTOR TO USE STANDARD RFI PROCESS IF HE DISCOVERS A DISCREPANCY IN THE ACTUAL CONDITION OR NOT AS SURVEYED.

UTILITY NOTES

- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITIES COMPANIES THAT MAY BE LOCATED ON BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICES TO THE PROJECT.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AND OTHERS IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISH GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE Voids LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN AND REMOVE ALL OTHER ADHESIVES OFF OF ALL MANHOLE AND BOX COVERS TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKERS MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COST OF DEWATERING AND NO ONE ELSE IS TO PAY FOR THIS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS, UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 48" OF COVER TO TOP OF PIPE BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10' FROM THE EDGE OF PIPE EDGE, FROM THE WATER LINES AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL HORIZONTAL PIPE LINES.
- UNDER NO CIRCUMSTANCE SHALL THE PIPE OR ACCESSORIES BE DROPPED INTO THE TRENCH.
- ALL IRRIGATION SYSTEMS ARE TO REMAIN FUNCTIONAL DURING CONSTRUCTION. CAP BROKEN LINES UNTIL REPAIR, SO THAT SYSTEM IS FUNCTIONAL.

LEGEND

SYMBOL/LINETYPE	DESCRIPTION	HATCH LEGEND
	LIMITS OF DISTURBANCE	
	EXISTING FENCE	
	EXISTING WATER METER	
	EXISTING FIRE HYDRANT	
	EXISTING ELECTRICAL BOX	
	EXISTING LIGHT POLE	
	EXISTING TELECOMMUNICATIONS VAULT	
	MISCELLANEOUS MANHOLE	
	EXISTING SANITARY MANHOLE	
	EXISTING GAS METER	
	EXISTING STORM DRAIN DROP INLET	
	EXISTING SEWER PIPE	
	EXISTING WATER PIPE	
	PROPERTY LINE	
	EXISTING POWER POLE	
	EXISTING GUY WIRE	
	EXISTING SIGN	
	EXISTING MAIL BOX	
	EXISTING TREE	
	EXISTING TREE TO BE REMOVED	
	PROPOSED OBJECT MARKERS SIGN	
	PROPOSED CATCH BASIN	
	PROPOSED STORM DRAIN LINE	
	PROPOSED FENCE	
	ROAD CENTERLINE	
	UTILITY DEMO	
	PROPOSED CURB AND GUTTER	



DEMOLITION NOTES

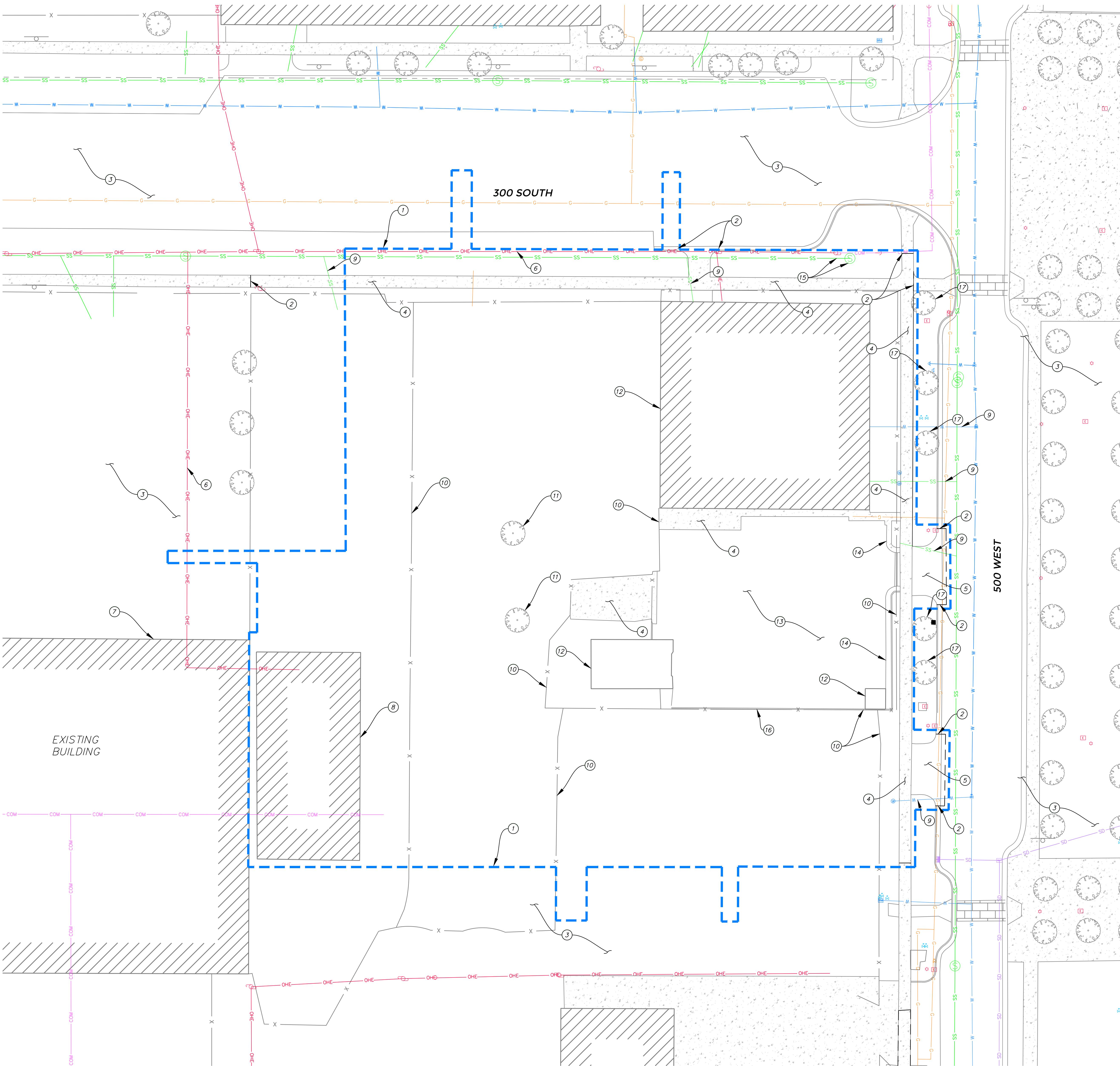
GENERAL NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM RECORD DRAWINGS AND MAY NOT BE LOCATED CORRECTLY AND NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES BEFORE BEGINNING DEMOLITION/CONSTRUCTION AND NOTIFY ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY THEMSELVES AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAIRLY COMPENSATE THE ENGINEER AND SHALL HOLD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM THEIR OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.
- CONTRACTOR TO COORDINATE WITH UTILITY OWNER AND APPLICABLE UTILITY PROVIDER PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR TO STUB AND DEMOLISH UTILITIES AT LIMITS OF DISTURBANCE OR AS DIRECTED BY UTILITY OWNER OR OWNER.
- PRIOR TO PERFORMING ANY WORK OR STAGING ANY MATERIALS OR EQUIPMENT IN THE PUBLIC WAY, A PERMIT TO WORK IN THE PUBLIC WAY MUST BE OBTAINED BY A STATE LICENSED, STATE BONDED AND INSURED CONTRACTOR. PERMITS AVAILABLE AT SLC.GOV.

KEYNOTES

- APPROXIMATE LIMITS OF DISTURBANCE.
- SAWCUT TO PROVIDE SMOOTH CLEAN EDGE.
- PRESERVE AND PROTECT EXISTING IMPROVEMENTS BEYOND LIMITS OF DISTURBANCE. CONTRACTOR RESPONSIBLE FOR REPLACING DAMAGED IMPROVEMENTS.
- REMOVE AND PROPERLY DISPOSE OF CONCRETE
- REMOVE AND PROPERLY DISPOSE OF DRIVE APPROACH
- EXISTING OVERHEAD POWER TO BE BURIED AS PART OF RIO GRANDE PROJECT
- PRESERVE AND PROTECT EXISTING BUILDING
- EXISTING BUILDING TO REMAIN AND BE RESTORED. SEE ARCHITECTURAL PLANS.
- EXISTING LATERAL TO BE ABANDONED/KILLED PER SLCPU STANDARDS.
- REMOVE AND PROPERLY DISPOSE OF FENCE
- REMOVE AND PROPERLY DISPOSE OF TREE
- REMOVE AND PROPERLY DISPOSE OF BUILDING
- REMOVE AND PROPERLY DISPOSE OF ASPHALT
- REMOVE AND PROPERLY DISPOSE OF CURB AND GUTTER
- EXISTING SEWER MANHOLE AND SEWER MAIN TO BE REMOVED AND REPLACED AS PART OF RIO GRANDE PROJECT
- REMOVE AND PROPERLY DISPOSE OF CURB WALL

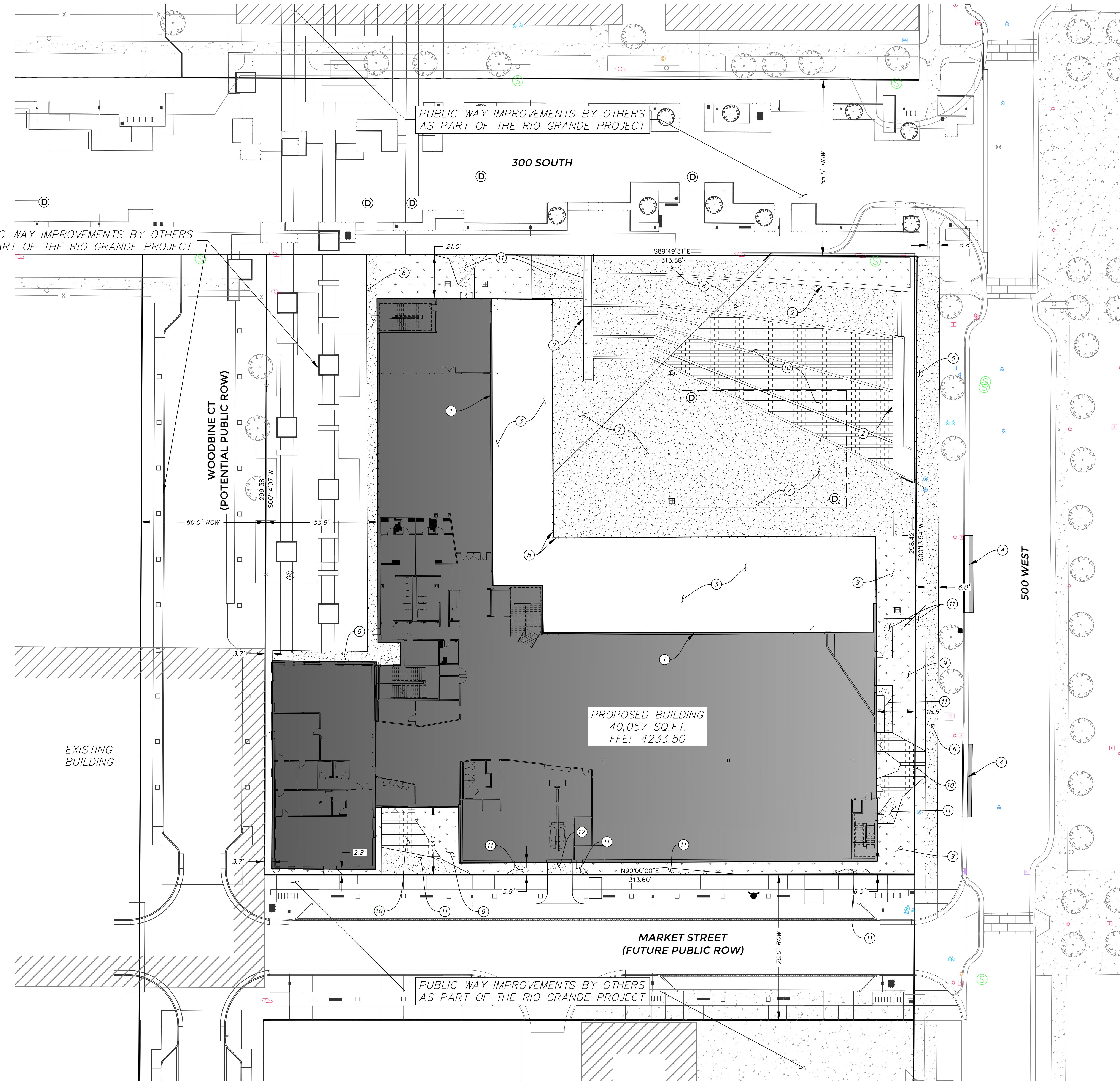
PRESERVE AND PROTECT EXISTING TREES. TREE PROTECTION ZONE TO BE ESTABLISHED ACROSS ENTIRE WIDTH OF PARKWAY WITH 6' CHAIN LINK FENCE PER SLC URBAN FORESTRY PRESERVATION POLICY.



SCALE
HORIZONTAL: 1" = 20'
0 10' 20' 30'

DEMO PLAN

C100


SITE NOTES
GENERAL NOTES

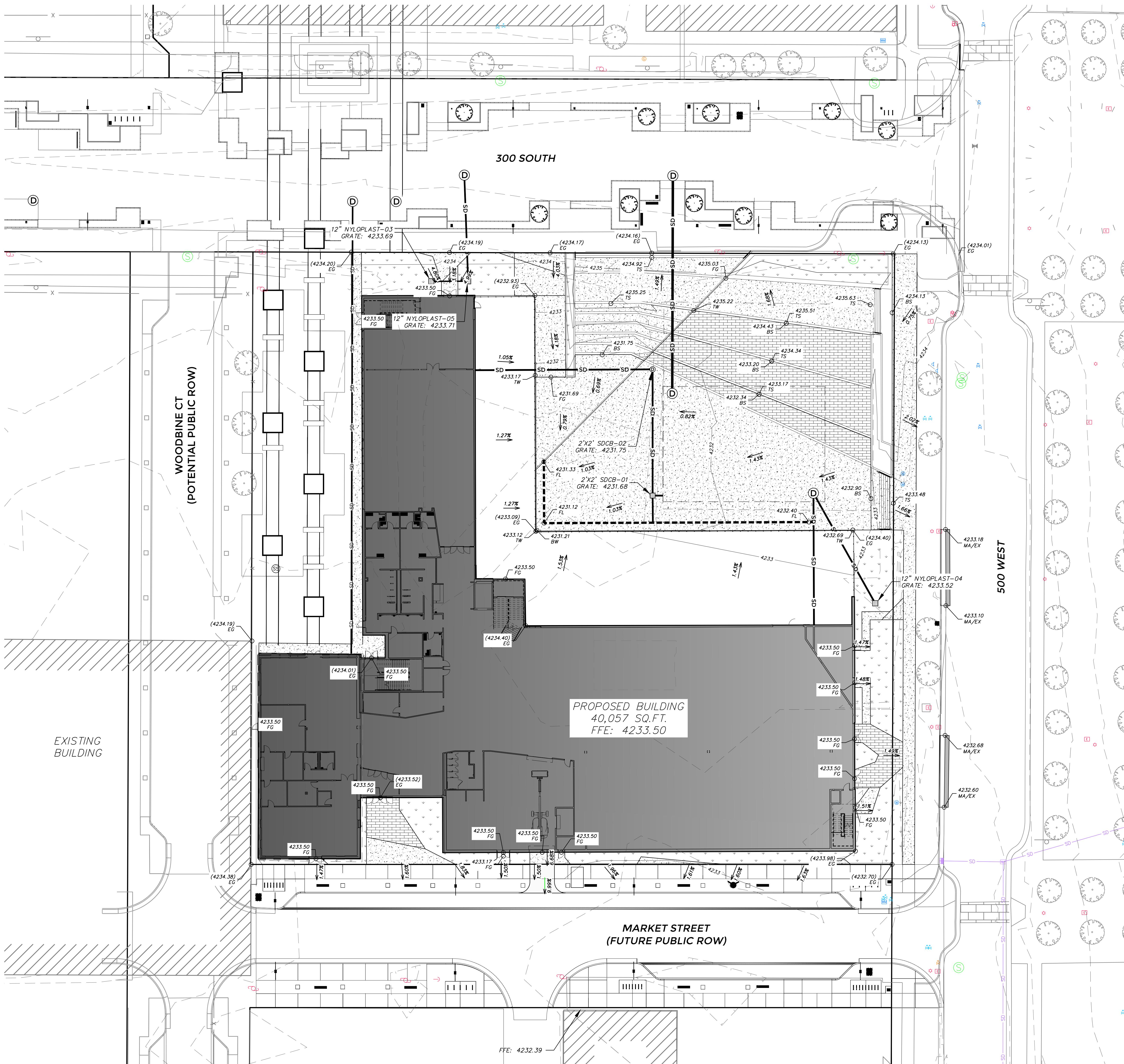
1. SEE GRADING DRAWINGS FOR ADDITIONAL DESIGN INFORMATION.
2. NO PHASING IS ANTICIPATED FOR THIS PROJECT.

SCOPE OF WORK

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

KEYNOTES

- ① PROPOSED BUILDING
- ② CONCRETE PLANTER BOX. SEE LANDSCAPE PLANS.
- ③ CLIMBING WALL ENCLOSURE. SEE ARCHITECTURAL PLANS.
- ④ TYPE A A CURB AND GUTTER PER APWA #205.1
- ⑤ CLIMBING WALL FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑥ SIDEWALK PER APWA #231
- ⑦ CONCRETE PLAZA WITH VEHICULAR LOADING. SEE DETAIL A ON C700.
- ⑧ CONCRETE PLAZA WITH PEDESTRIAN LOADING. SEE DETAIL B ON C700. FOR STAIR DETAIL SEE ARCHITECTURAL PLANS.
- ⑨ LANDSCAPING. SEE LANDSCAPING PLANS.
- ⑩ PAVERS. SEE LANDSCAPING PLANS.
- ⑪ CONCRETE SIDEWALK. SEE LANDSCAPING PLANS FOR FINISH DETAILS.
- ⑫ CONCRETE APRON WITH VEHICULAR LOADING. SEE DETAIL A ON C700.



GRADING NOTES

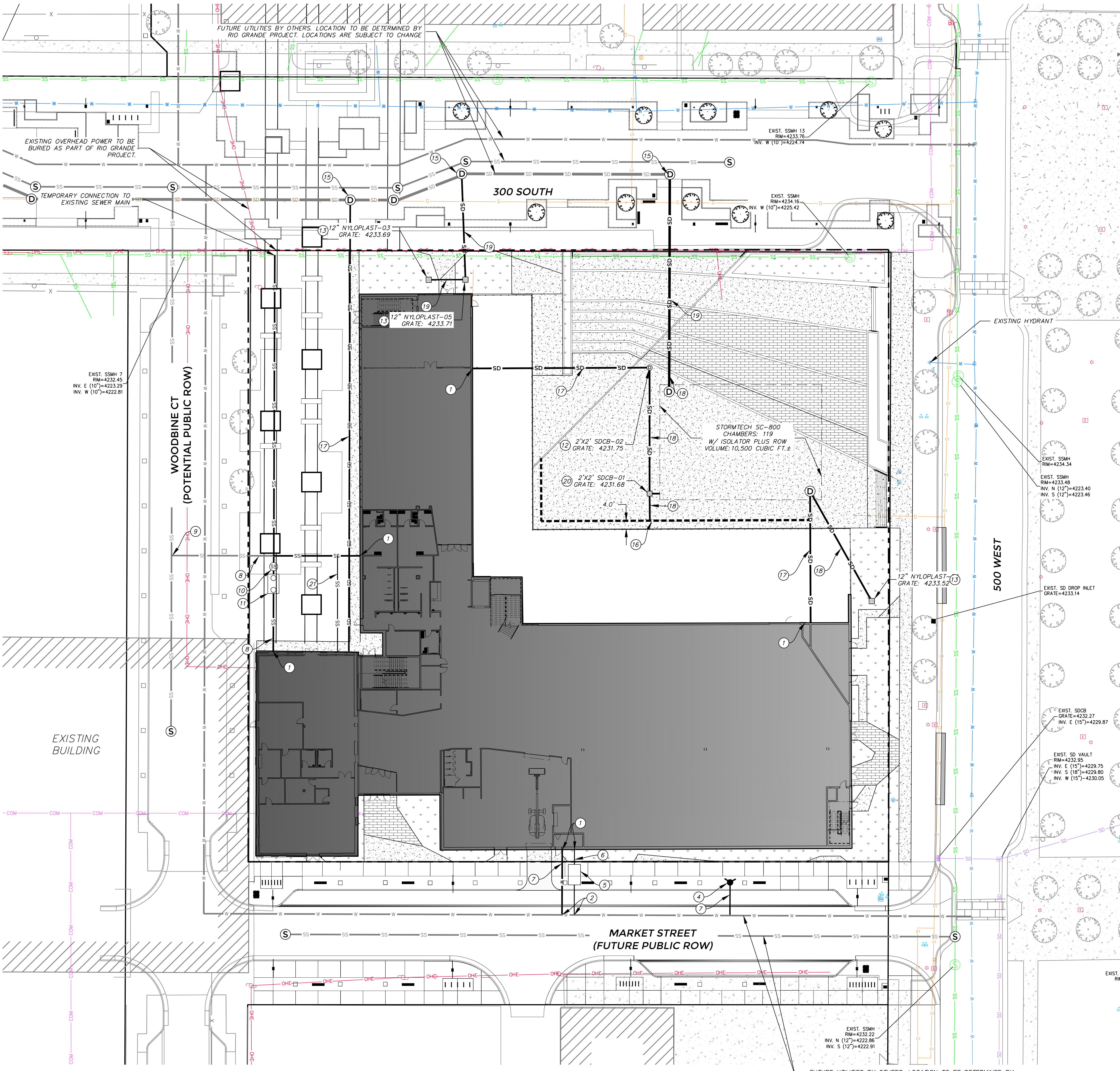
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOIL, YIELDING OR UNSUITABLE MATERIALS AND REPLACING THEM WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF THE CONTRACTOR MANUFACTURED DENSITY PER AS-TESTED TEST, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 96% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED GEOTECHNICAL ENGINEER VERIFYING THE ALLOWED AREAS AND BEGUNNING AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE DRAINED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECIFICATIONS.
2. CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING SOIL CONDITIONS.
3. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL AND DUST SUPPRESSION FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC INFORMATION SHOWN ON DRAWINGS C-600 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
4. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN CONFIRMED IN THE FIELD. CONTRACTOR IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY THE EXISTENCE OF THESE UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
5. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.
6. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES, DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
7. SITE STORMWATER MUST BE COLLECTED ON SITE AND Routed TO THE PUBLIC STORM DRAIN SYSTEM OR GUTTER. STORMWATER CANNOT DISCHARGE ACROSS PROPERTY LINES OR PUBLIC SIDEWALKS.

ABBREVIATIONS

BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
GB	GRADE BREAK
HP	HIGH POINT
LP	LOW POINT
MA	MATCH
SW	SIDEWALK
TA	TOP OF ASPHALT
TBC	TOP BACK OF CURB
TC	TOP OF CONCRETE
TS	TOP OF STEP
TW	TOP OF WALL
TFC	TOP FLUSH CURB

SCALE
HORIZONTAL: 1" = 20'

0 10' 20' 30'



UTILITY NOTES

GENERAL NOTES

1. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH PLUMBING AND ELECTRICAL DRAWINGS.
2. A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM SALT LAKE CITY PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY.
3. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH DEPARTMENT OF PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
4. ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH DEPARTMENT OF PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
5. CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW COMMUNICATIONS SERVICES TO BUILDINGS WITH APPLICABLE UTILITY PROVIDER.
6. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN CONFIRMED IN THE FIELD AND NO WARRANTY IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED IN THE CONTRACT.
7. LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.
8. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES, DECORATIVE SHRUBS, SOIL, FENCES, WALLS, AND STRUCTURES WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
9. SEE ELECTRICAL PLANS FOR DRY UTILITY LOCATION, INSTALLATION AND SIZING INFORMATION.
10. SITE STORMWATER MUST BE COLLECTED ON SITE AND Routed TO THE PUBLIC STORM DRAIN SYSTEM OR GUTTER. STORMWATER CANNOT DISCHARGE ACROSS PROPERTY LINES OR PUBLIC SIDEWALKS.
11. POWER COMPANY, GAS COMPANY, AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLANS REVIEWS ARE REQUIRED BY THE SLCPU UTILITIES COORDINATOR AND THE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.
12. ALL UTILITY TRENCHING MUST BE PER SLCPU STANDARD PRACTICE NO. 1.
13. PRESSURIZED CONNECTIONS TO THE PUBLIC STORM DRAIN SYSTEM ARE NOT ALLOWED.

SCOPE OF WORK

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

KEYNOTES

1. SEE PLUMBING PLANS FOR CONTINUATION.
2. CONNECT TO FUTURE WATER MAIN.
3. CONNECT TO FUTURE STORM DRAIN.
4. FIRE HYDRANT ASSEMBLY PER APWA 511 & SLCPU STANDARD PRACTICES.
5. 3" WATER METER PER APWA #523, APWA #505, & SLCPU STANDARD PRACTICES.
6. 3" PVC C900 WATER LINE.
7. 8" PVC C900 PIPE FIRE LINE.
8. 6" SANITARY SEWER LATERAL.
9. CONNECT TO FUTURE SANITARY SEWER MAIN.
10. SAMPLING MANHOLE.
11. GREASE TRAP.
12. 2'x2' CATCH BASIN PER APWA #332 W/ SOLID LID.
13. NYLOPLAST LANDSCAPE DRAIN.
14. UNDERGROUND DETENTION SYSTEM.
15. CONNECT TO FUTURE STORM DRAIN.
16. TRENCH DRAIN.
17. 8" HDPE ROOF DRAIN.
18. 8" HDPE STORM DRAIN PIPE.
19. 12" HDPE STORM DRAIN PIPE.
20. 2'x2' CATCH BASIN PER APWA #332 W/ GATED LID.
21. 4" SANITARY SEWER LATERAL.



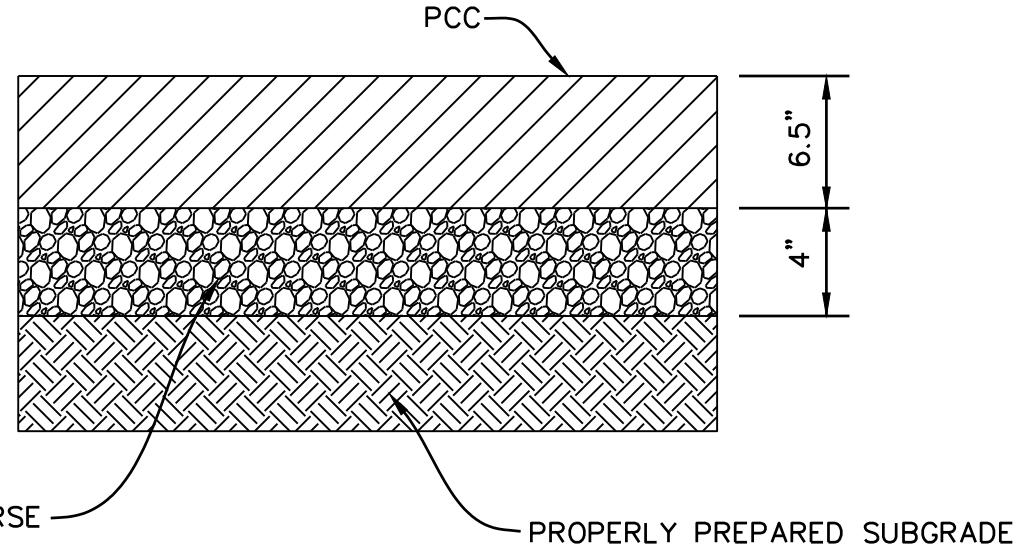
SCALE
HORIZONTAL: 1" = 20'
0 10' 20' 30'

Curb and gutter

- GENERAL**
 - A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
 - B. Additional requirements are specified in APWA Section 32 16 13.
- PRODUCTS**
 - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - C. Concrete: Curing strength 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION**
 - A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent ($s=0.005$) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - B. Concrete Placement: APWA Section 03 30 10.
 - 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb run. Expansion joints are not required in concrete placement using slip-form construction.
 - 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
 - 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

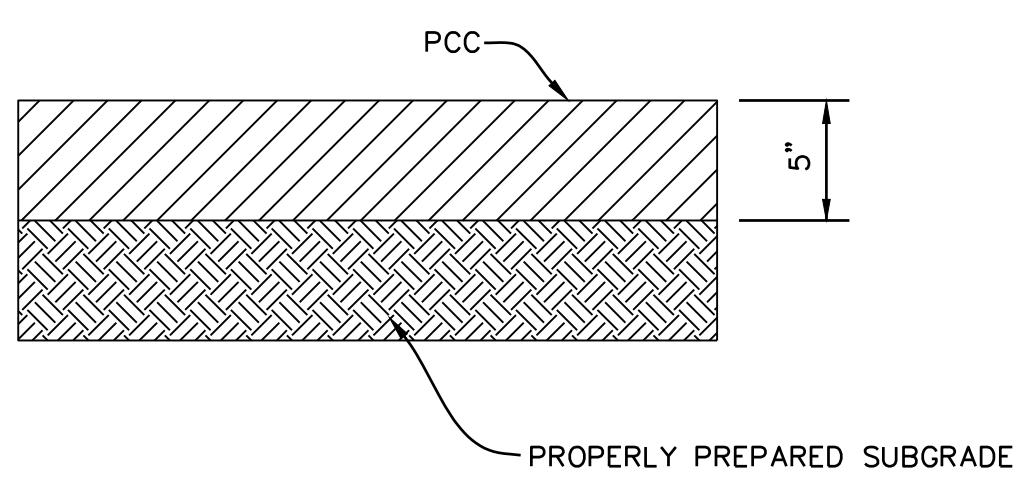
Sidewalk

- GENERAL**
 - A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
 - B. Additional requirements are specified in APWA Section 32 16 13.
- PRODUCTS**
 - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - C. Concrete: Curing strength 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION**
 - A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - B. Concrete Placement: APWA Section 03 30 10.
 - 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
 - 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
 - 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.



CONCRETE PLAZA WITH VEHICULAR LOADING

A — SCALE: N.T.S.

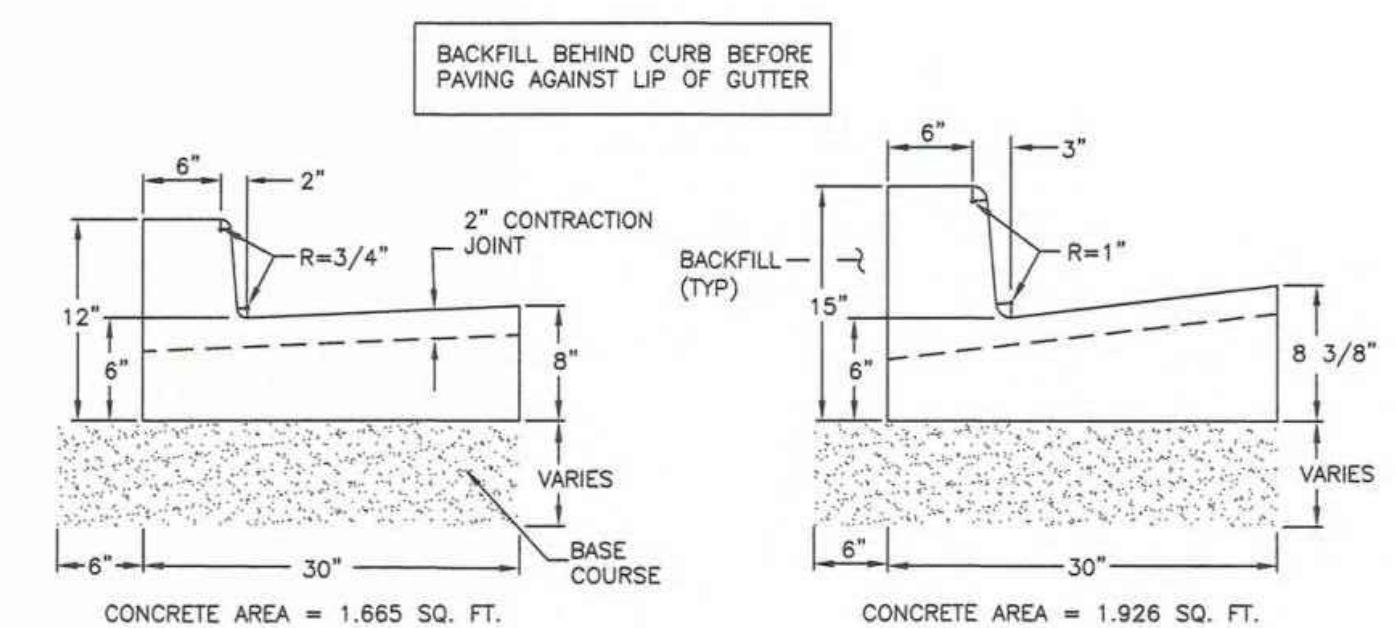


CONCRETE PLAZA WITH PEDESTRIAN LOADING

B — SCALE: N.T.S.

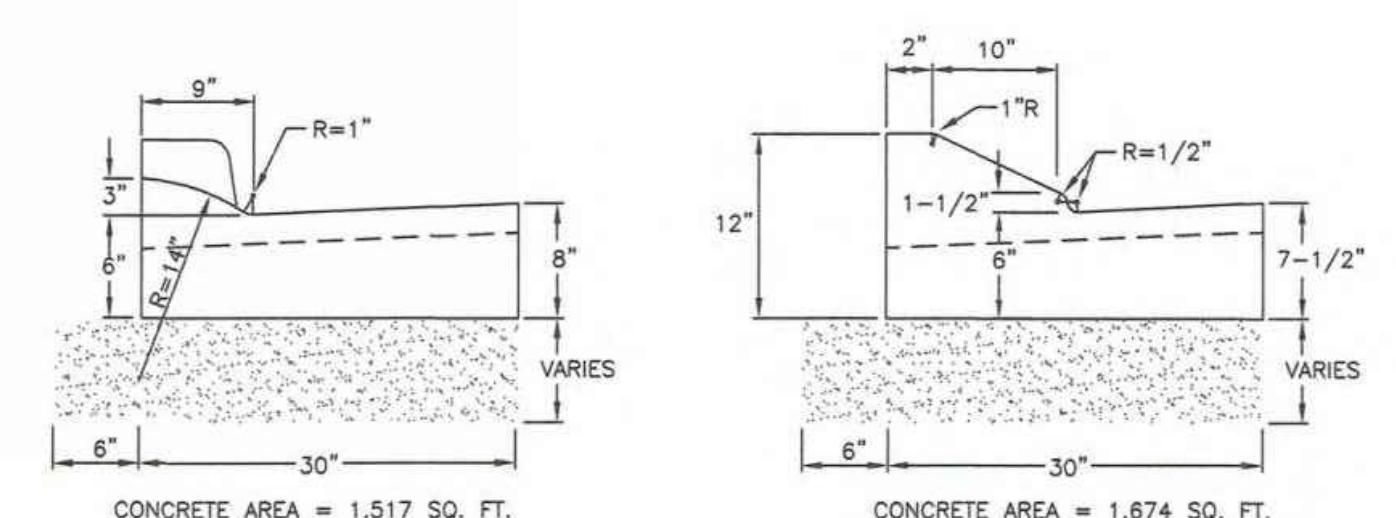
205.1

231



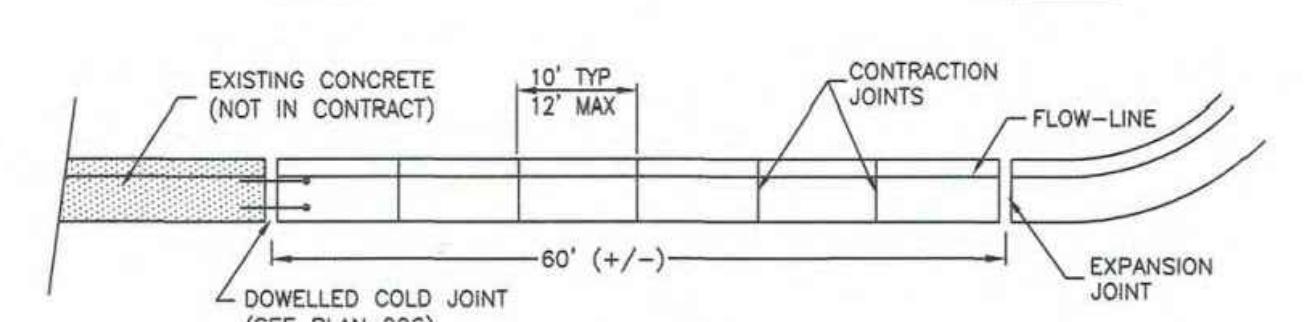
Type A

Type B



Type C

Type D

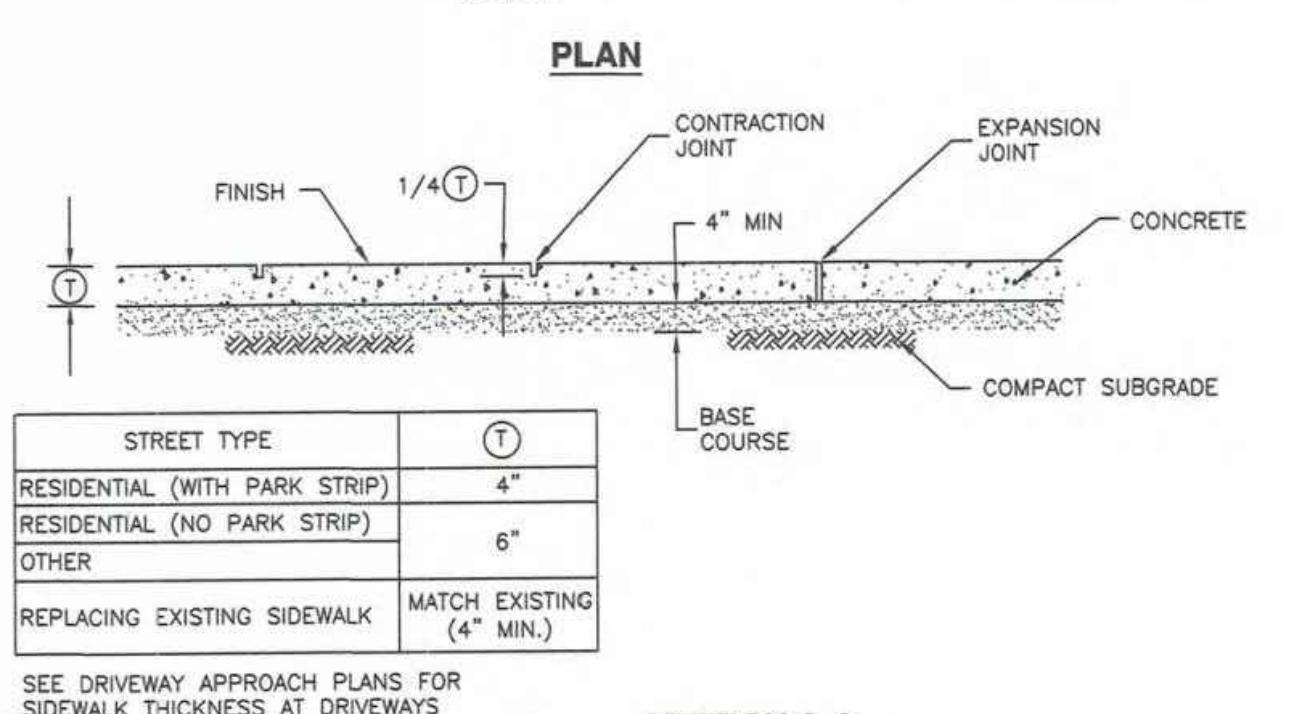
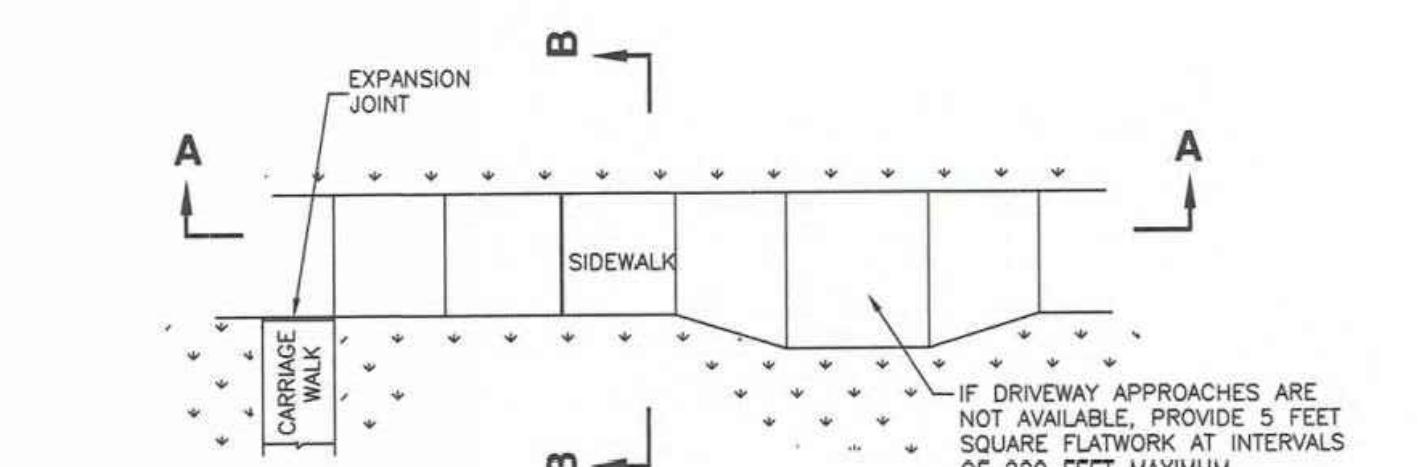


JOINT DETAIL

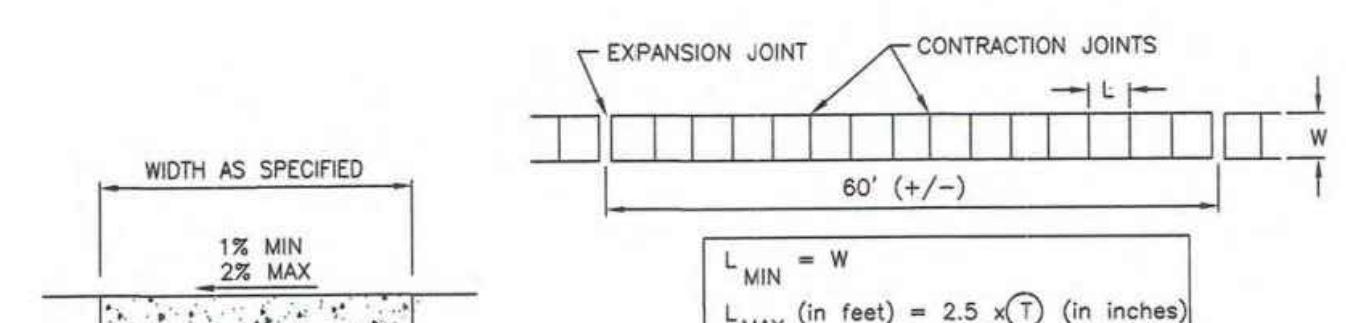


Curb and gutter

Plan 205.1
December 2008



SECTION A-A



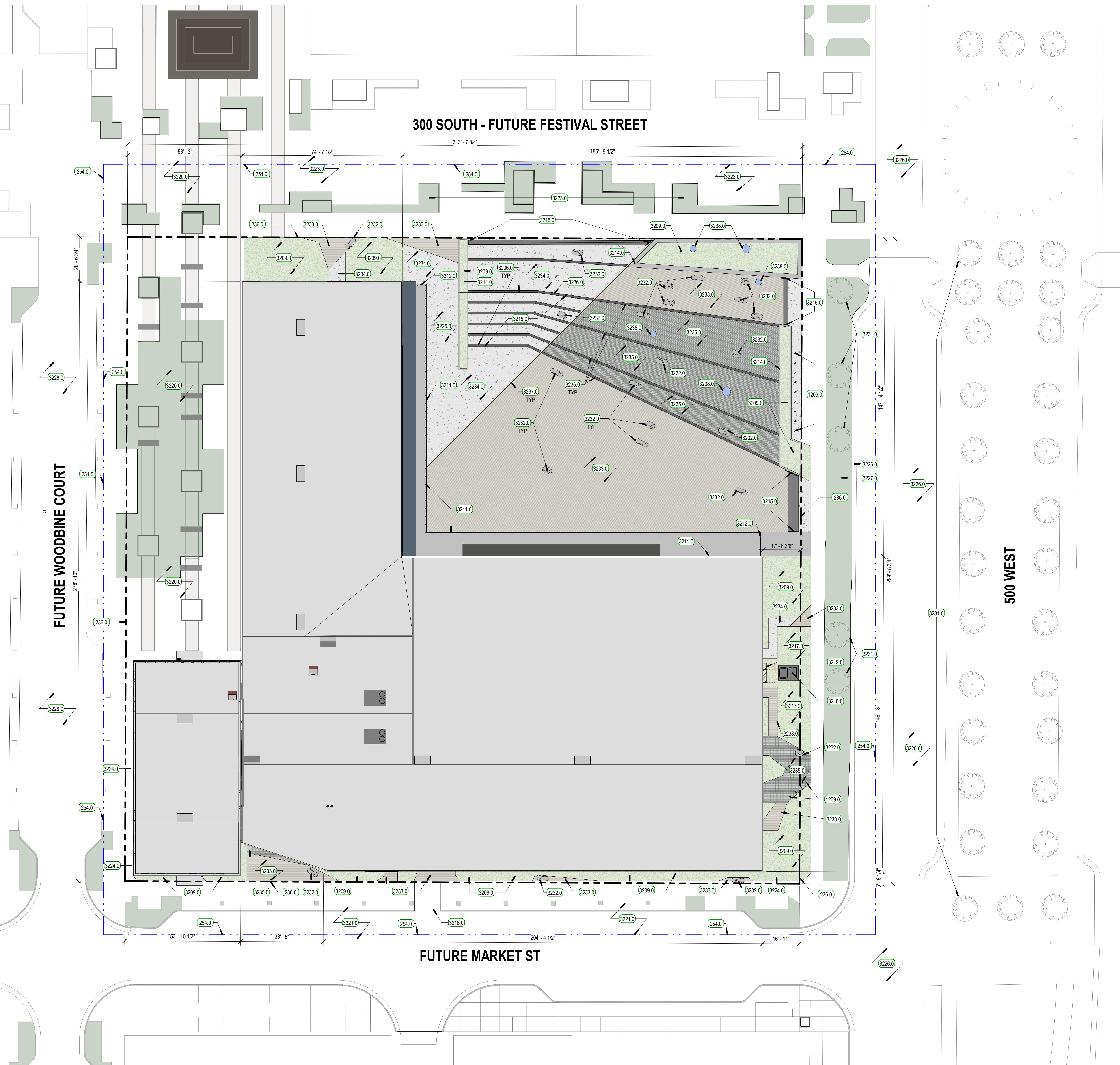
SIDEWALK JOINT DETAIL



Sidewalk

Plan 231
March 2009





A1 PLAN - SITE - OVERALL - DESIGN REVIEW

SCALE: 1" = 20'-0"

ZONING ANALYSIS

PARCEL ZONE: 'GMU' - GATEWAY MIXED USE
MINIMUM/MAXIMUM LOT DIMENSIONS: NO STANDARD STIPULATED BY ZONE
SPECIFIC REQUIREMENTS:
ACTUAL LOT SIZE: 2.16 ACRES (93,949 SQ. FT. PROPOSED CONSOLIDATED PARCEL)
BUILDING LOT COVERAGE: NO STANDARD STIPULATED BY ZONE
BUILDING HEIGHT REQUIREMENTS:
ACTUAL BUILDING COVERAGE: 53% COVERAGE (50,139 SQ FT / 93,949 SQ. FT.)
BUILDING HEIGHT REQUIREMENTS:
MINIMUM HEIGHT - 75'-0"
MAXIMUM HEIGHT - 180'-0"
SETBACK REQUIREMENTS:
MINIMUM - NONE
MAXIMUM - 10'-0" (FOR UP TO 30% OF FAÇADE)

GENERAL SITE PLAN NOTES

- GRADING AT THE BUILDING SHALL HAVE A 5% MINIMUM SLOPE AWAY FROM THE BUILDING. FOR A MINIMUM OF 10'-0" UNO. CONCRETE SHALL BE SLOPED 2% AWAY FROM BUILDING. IBC 2012 SECTION 1824.3
- FOUNDATION TO BE 6" ABOVE FINISHED GRADE UNL. (8" FOR DCFM PROJECT, ALSO REVIEW IBC 2012 SECTION 1820)
- ALL CONNECTIONS FROM CITY STREETS TO THE BUILDING ARE TO BE PROVIDED UNDER THIS CONTRACT. CONTRACTOR TO VERIFY CITY STANDARDS FOR ROAD, CURB, UTILITY AND SIGNAGE REQUIREMENTS
- ALL EXTERIOR SIDEWALKS, STAIRS AND LANDINGS TO HAVE POSITIVE DRAINAGE BUT NO MORE THAN A MAXIMUM OF 1/4" SLOPE PER FOOT TO ALLOW POSITIVE DRAINAGE. ALL STAIRS ARE TO HAVE A LANDING OF 48 INCHES LONG AT THE TOP AND BOTTOM WITH A MAXIMUM SLOPE OF 1/4" PER FOOT. ALL REBAR IN EXTERIOR APPLICATIONS TO BE EPOXY COATED.
- ALL HARDCAPE TO BE A MINIMUM OF 4" THICK AIR ENTRAINED CONCRETE OVER 6" ROAD BASE, UNL. AND ALL SIDEWALKS SHALL BE NO LESS THAN 5'-0" WIDE.
- FINISH GRADE OF SOFTSCAPE SHALL BE 2" UNIFORMLY BELOW PAVING SURFACES UNLESS NOTED OTHERWISE.
- FINISH GRADE OF SOFTSCAPE SHALL BE 2" UNIFORMLY BELOW PAVING SURFACES UNLESS NOTED OTHERWISE.
- 12" X 12" CONTINUOUS MINIMUM CONCRETE MOW STRIP, TO BE PROVIDED AROUND ENTIRE BUILDING EXCEPT WHERE CONCRETE SIDEWALKS OR PLANTERS OCCUR. TYP. SEE DETAIL XX/XXXX.
- LIGHT POLE BASE IN ALL LANDSCAPE LOCATIONS TO BE 6" ABOVE FINISHED GRADE. BE LOCATED AT LEAST 5' FROM FACE OF POLE BASE TO BACK OF CURB AND HAVE A CONCRETE MOW STRIP PER DETAIL XX/XXXX. VERIFY LOCATION ON SITE WITH ARCHITECT PRIOR TO ANY INSTALLATION.
- LIGHT POLE BASE IN ALL PAVED LOCATIONS TO BE 30" ABOVE FINISHED GRADE. VERIFY LOCATION ON SITE WITH ARCHITECT PRIOR TO ANY INSTALLATION.
- REMOTE FDC TO HAVE VAULT FOR DRAINAGE. SEE DETAIL XX/XXXX.
- COORDINATE ORIENTATION OF FIRE HYDRANT OUTLETS WITH THE FIRE MARSHALL'S OFFICE PRIOR TO THE FINAL INSTALLATION OF THE HYDRANT ASSEMBLY.

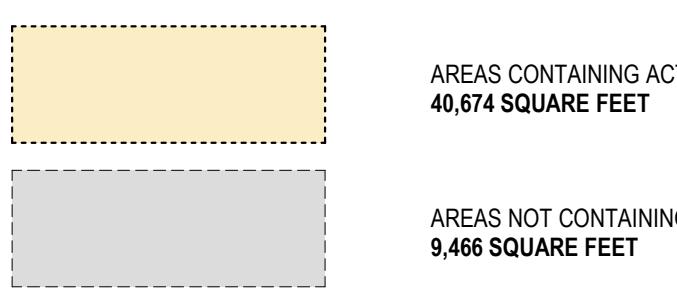
TREE PRESERVATION GUIDELINES + NOTES

- STEEL WOVEN WIRE FENCES SHALL BE ERECTED TO PROTECT TREES TO BE PRESERVED. FENCES DEFINE A SPECIFIC PROTECTION ZONE FOR EACH TREE OR GROUP OF TREES. FENCE TO BE AT A MINIMUM OF 20' FROM TRUNK OR AT DRIP LINE OF TREE, WHICHEVER IS GREATER. FENCES MAY BE REMOVED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTING ARCHITECT.
- INSIDE ALL PROTECTED TREE FENCE AREAS, CONTRACTOR TO PROVIDE WOOD CHIPS, MINIMUM 4" DEEP.
- CONSTRUCTION TRAILERS AND TRAFFIC AND STORAGE AREAS MUST REMAIN OUTSIDE FENCED AREAS AT ALL TIMES.
- ALL UNDERGROUND UTILITIES AND DRAIN OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREES.
- NO MATERIALS, EQUIPMENT, SPOIL OR WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED OR PARKED WITHIN THE TREE PROTECTION ZONE (FENCED AREA).
- ADDITIONAL TREE PRUNING REQUIRED FOR CLEARANCE OR TREE HEALTH DURING CONSTRUCTION MUST BE PERFORMED BY A QUALIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
- ANY HERBICIDES PLACED UNDER PAVING MATERIALS MUST BE SAFE FOR USE AROUND TREES AND LABELED FOR THAT USE. ANY PESTICIDES USED ON SITE MUST BE TREE-SAFE AND NOT EASILY WASHED OFF SITE, CAUSING POLLUTION.
- IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE CONSULTING ARBORIST OR LANDSCAPE ARCHITECT SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
- ANY GRADING, CONSTRUCTION, DEMOLITION, OR OTHER WORK THAT IS EXPECTED TO ENCOUNTER TREE ROOTS MUST BE MONITORED BY THE CONSULTING ARBORIST/LANDSCAPE ARCHITECT. ALL TREES NOT BEING REMOVED AS INDICATED ON LANDSCAPE DEMOLITION PLAN SHALL BE PROTECTED / MONITORED.
- IRRIGATION WATER TO THE TREES AND SHRUBS TO REMAIN SHOULD BE AT LEAST 1 INCH A WEEK DURING GROWING SEASON UNTIL PROJECT COMPLETION (MAY - OCT) THIS WILL BE APPLIED WITH SPRINKLERS EVENLY OVER THE WHOLE ROOT SYSTEM, TWICE A WEEK TWO DAYS APART WITH 1/2 INCH OF WATER DELIVERED EACH WATERING CYCLE.
- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS, BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND OR EROSION WITHIN THE TREE PROTECTION ZONE.
- ANY ROOTS DAMAGED DURING GRADING, TRENCHING OR CONSTRUCTION SHALL BE EXPOSED TO SOUND TISSUE AND CUT CLEANLY WITH A SAW. CONTRACTOR SHALL HAVE A QUALIFIED ARBORIST OR LANDSCAPE ARCHITECT OBSERVE THIS WORK.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED, A ROADBED OF 6 INCHES OF COarse WOOD CHIP MULCH SHALL BE CREATED TO PROTECT THE SOIL AND ROOTS. THE ROAD BED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A 6-INCH DEPTH. UNDER NO CIRCUMSTANCES SHALL SUCH ACCESS ROADS BE USED ON A FREQUENT BASIS.
- SPUDS OR SUBSOIL FROM TRENCHES, BASEMENTS, OR OTHER EXCAVATIONS SHALL NOT BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY.
- MONITORING ONCE A MONTH SHALL OCCUR NOW & THROUGH THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL HAVE A QUALIFIED ARBORIST FROM USU LOAM PERFORM THIS TASK.
- A SOIL SAMPLE SHALL BE SENT TO USU SOILS LAB TO DETERMINE IF ANY NUTRIENTS CAN BE ADDED TO HELP RELIEVE SOME STRESS TO THE TREES.

KEY NOTES

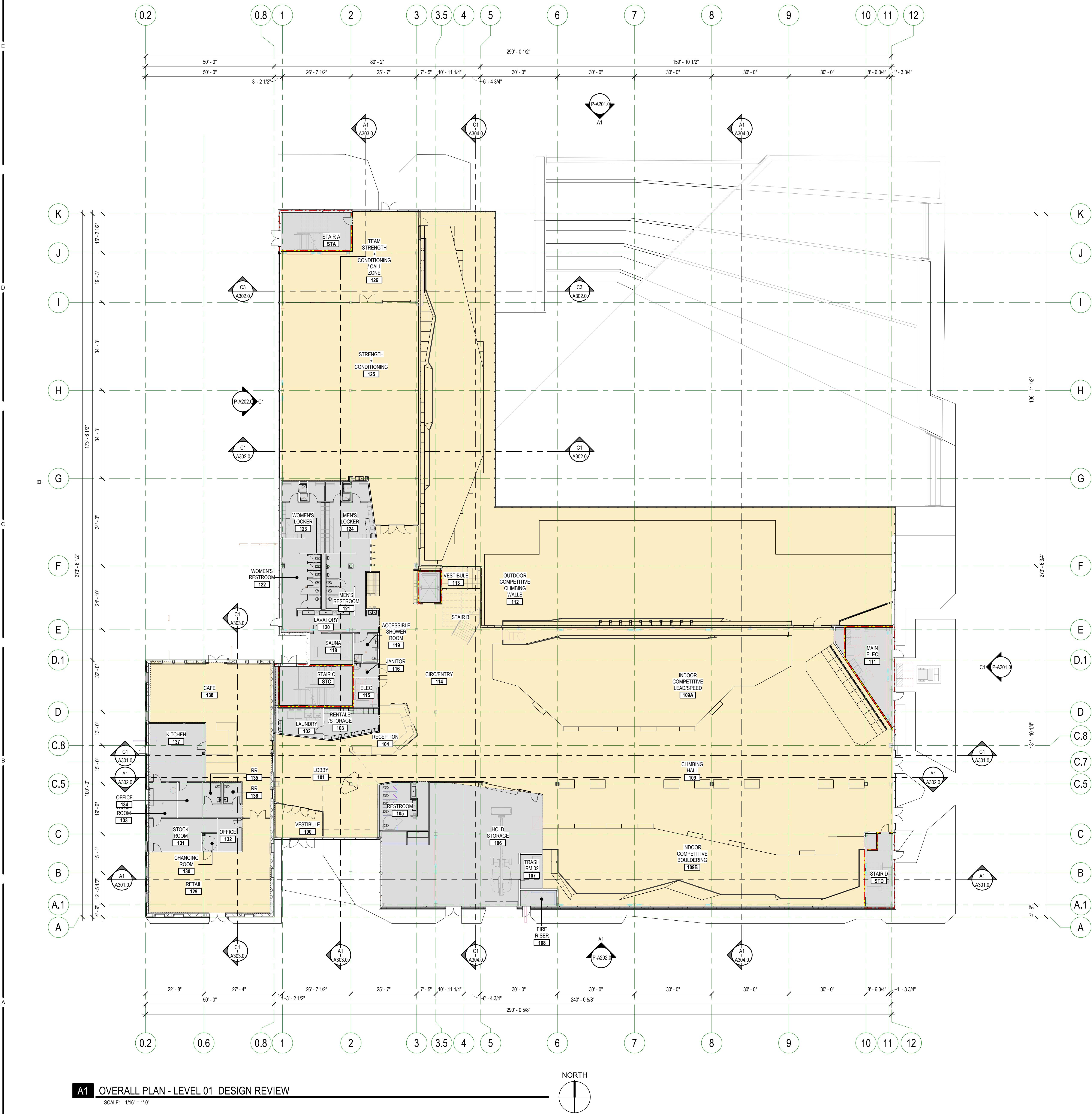
236.0 PROPERTY BOUNDARY
254.0 EXTENT OF CONSTRUCTION FENCE
310.0 BICYCLE RACKS
320.0 LANDSCAPING BEDS TO BE INSTALLED WITH ORNAMENTAL WATER-WISE PLANTINGS AND 6' TALL GLAZED WINDSCREEN SYSTEM, BASIS OF DESIGN CRL CIELD POST WINDSCREEN SYSTEM TYP.
321.0 6' TALL PERFORATED STEEL PANEL SWING GATE ON SELF-CLOSING HINGES WITH PANIC RAISED CONCRETE PLANTER
321.0 CAST-IN-PLACE CONCRETE SITE STAIRS WITH STAINLESS STEEL PIPE HANDRAILS
321.0 CURB CUT AND RAMPED PAVING TO PROVIDE ACCESS INTO HOLD STORAGE ROOM, REFER TO CIVIL DRAWINGS
321.0 SHrub-EGREEN SHRUBS AND LANDSCAPING TO BE INSTALLED TO SCREEN UTILITY EQUIPMENT
321.0 ELECTRICAL TRANSFORMER ON PAD AND VAULT, SEE ELECTRICAL DRAWINGS
321.0 ELECTRICAL GEAR, SEE ELECTRICAL DRAWINGS
322.0 ARTS CAMPUS PLAZA TO BE INSTALLED BY SLC AS PART OF RIO-GRADE DISTRICT IMPROVEMENTS
322.1 NEW MARKET STREET PUBLIC RIGHT OF WAY IMPROVEMENTS TO BE INSTALLED BY SLC AS PART OF RIO-GRADE DISTRICT IMPROVEMENTS
322.3 NEW 300 S. FESTIVAL STREET PUBLIC RIGHT OF WAY IMPROVEMENTS TO BE INSTALLED BY SLC AS PART OF RIO-GRADE DISTRICT IMPROVEMENTS
322.4 EXTEND CONCRETE SIDEWALK PAVING UP TO EXTERIOR FOOTPRINT OF SALT LAKE MATTRESS BUILDING, SEE CIVIL DRAWINGS
322.5 CONCRETE RAMP TO PROVIDE VEHICULAR ACCESS FOR ARTICULATING BOOM LIFT INTO PLAZA, SEE CIVIL DRAWINGS
322.6 EXISTING 500 WEST STREET PAVING AND CURBS ALONG PUBLIC RIGHT OF WAY TO REMAIN EXCEPT AT EXISTING CURB CUTS TO BE REMOVED, PROTECT AND REPAIR REMAINDER OF FRONTAGE AS REQUIRED TO MEET CITY STANDARDS - REFER TO CIVIL DRAWINGS
322.7 EXISTING PARKSTRIP LANDSCAPING ALONG 500 WEST FRONTAGE TO REMAIN, PATCH AND REPAIR RECENTLY PLANTED PLANTINGS AND MATCH ADJACENT LANDSCAPING AT AREAS REQUIRING INFILL FOR ANY REMOVED EXISTING PLANTINGS
322.8 NEW WOODBINE COURT PUBLIC RIGHT OF WAY IMPROVEMENTS TO BE INSTALLED BY SLC AS PART OF RIO-GRADE DISTRICT IMPROVEMENTS
323.1 EXISTING STREET TREES ALONG 500 WEST TO REMAIN, PROTECT THROUGHOUT DURATION OF CONSTRUCTION
323.2 NATURAL GRANITE BOULDER-BLOCK FRACTURED BENCH, SIZED TO BE MOVEABLE AS REQUIRED, SEE CIVIL DRAWINGS TYP.
323.3 TAN COLORED AND ACID ETCH CONCRETE PAVEMENT
323.4 CHARCOAL GRAY COLORED ACID ETCH CONCRETE PAVEMENT
323.5 GRANITE PAVER, FLAMED FINISH, TYP.
323.6 CHARCOAL BLACK CONCRETE STEP OR SEAT BENCH RETAINING WALL WHERE OCCURS
323.7 IN-GRADE ILLUMINATED GLASS BLOCK PAVEMENT, TYP.
323.8 SELF-ILLUMINATED HUMAN FIGURE SCULPTURES IN VARIOUS CLIMBING POSITIONS AFFIXED TO STAINLESS STEEL ARMATURE POSTS, TYP.

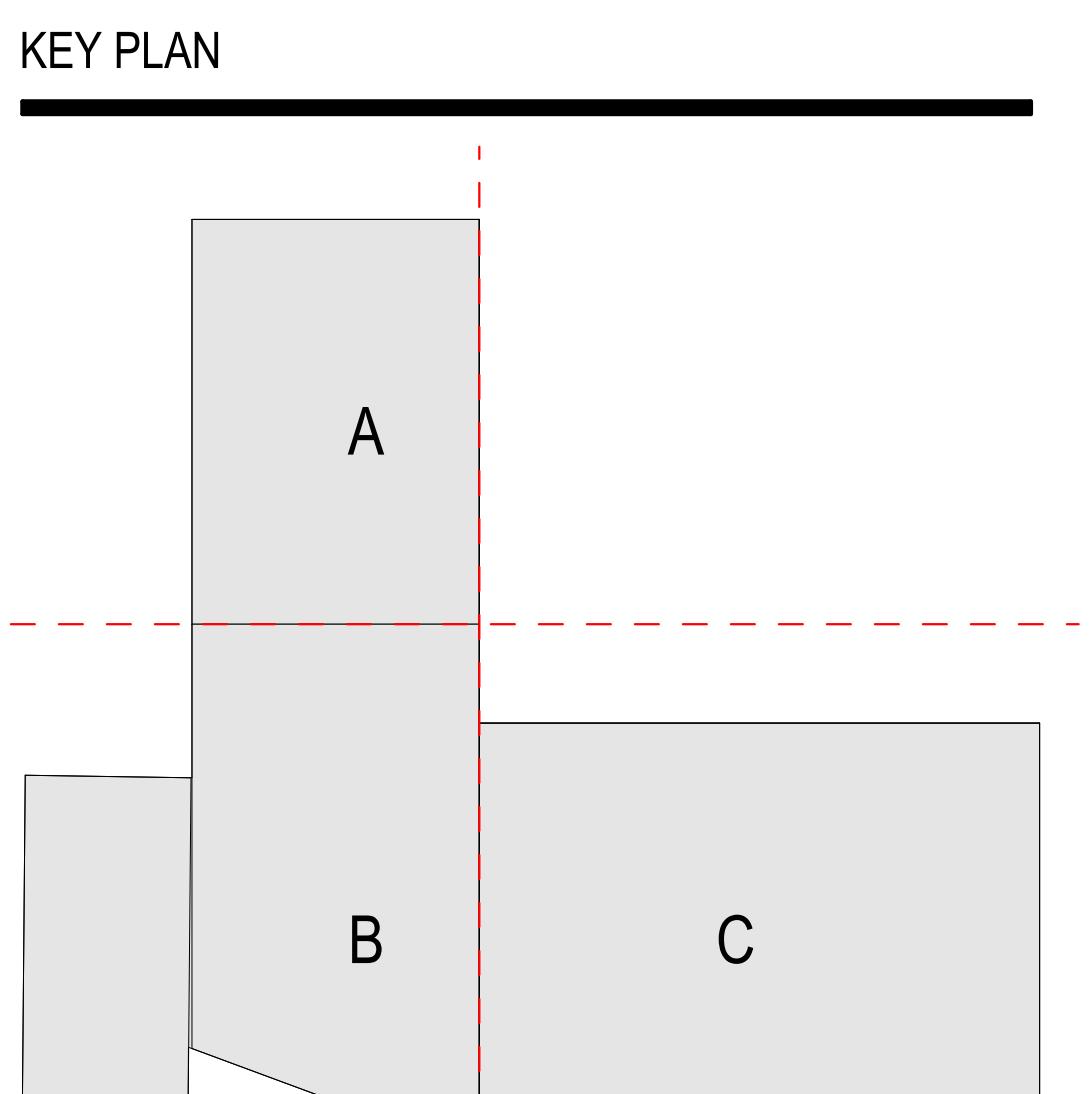

GROUND FLOOR USE LEGEND



TOTAL FIRST FLOOR SQUARE FOOTAGE = 50,140 SQUARE FEET
PERCENTAGE OF ACTIVE USE = 40,674 SQ. FT./50,140 SQ. FT. = 81.1%

SALT LAKE CITY - HQ
524 SOUTH 600 EAST
SALT LAKE CITY, UT 84102
801.575.8800
ST. GEORGE
20 N. MAIN ST. #103
ST. GEORGE, UT 84770
435.522.7070
VCBO.COM
VCBO NUMBER: 23310.00
DATE: JANUARY 22, 2026

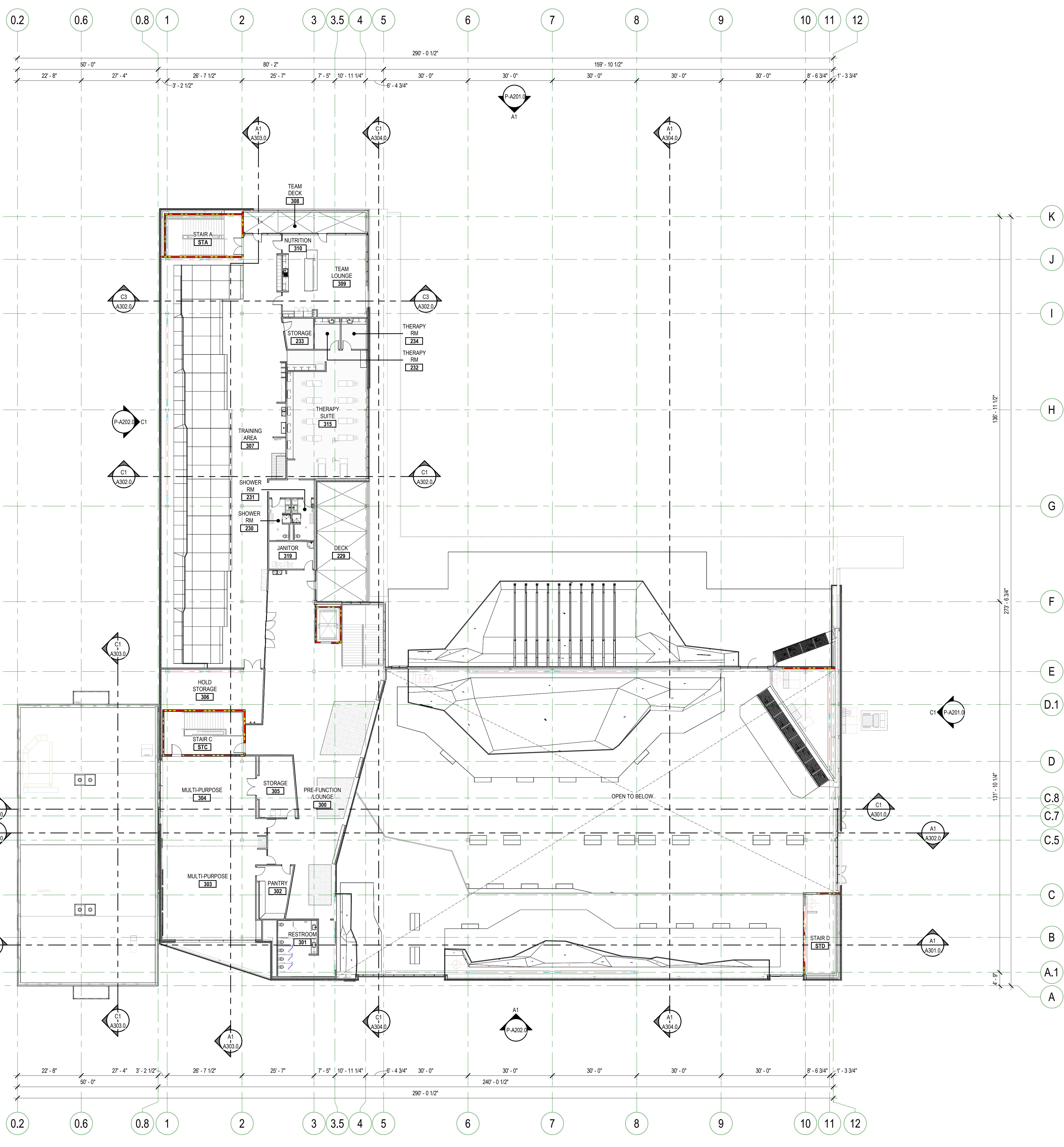
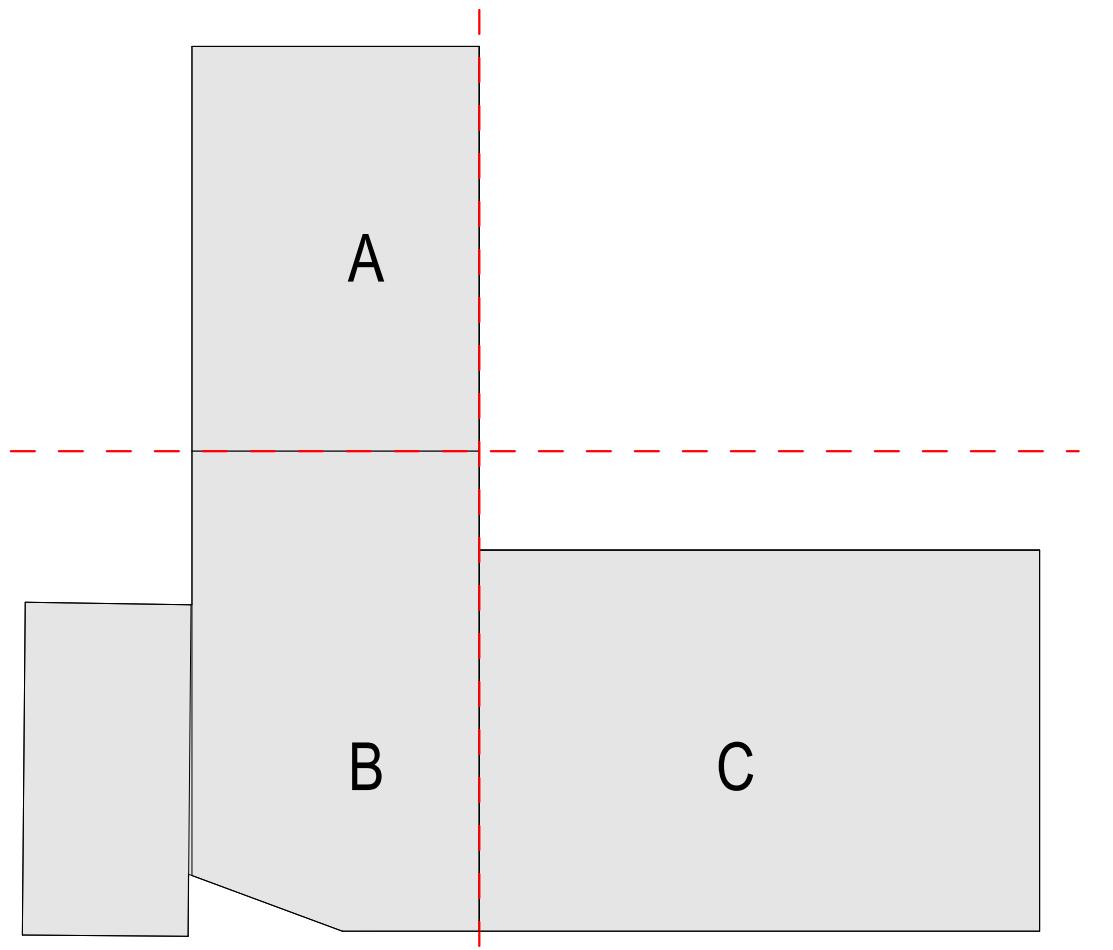




KEY PLAN

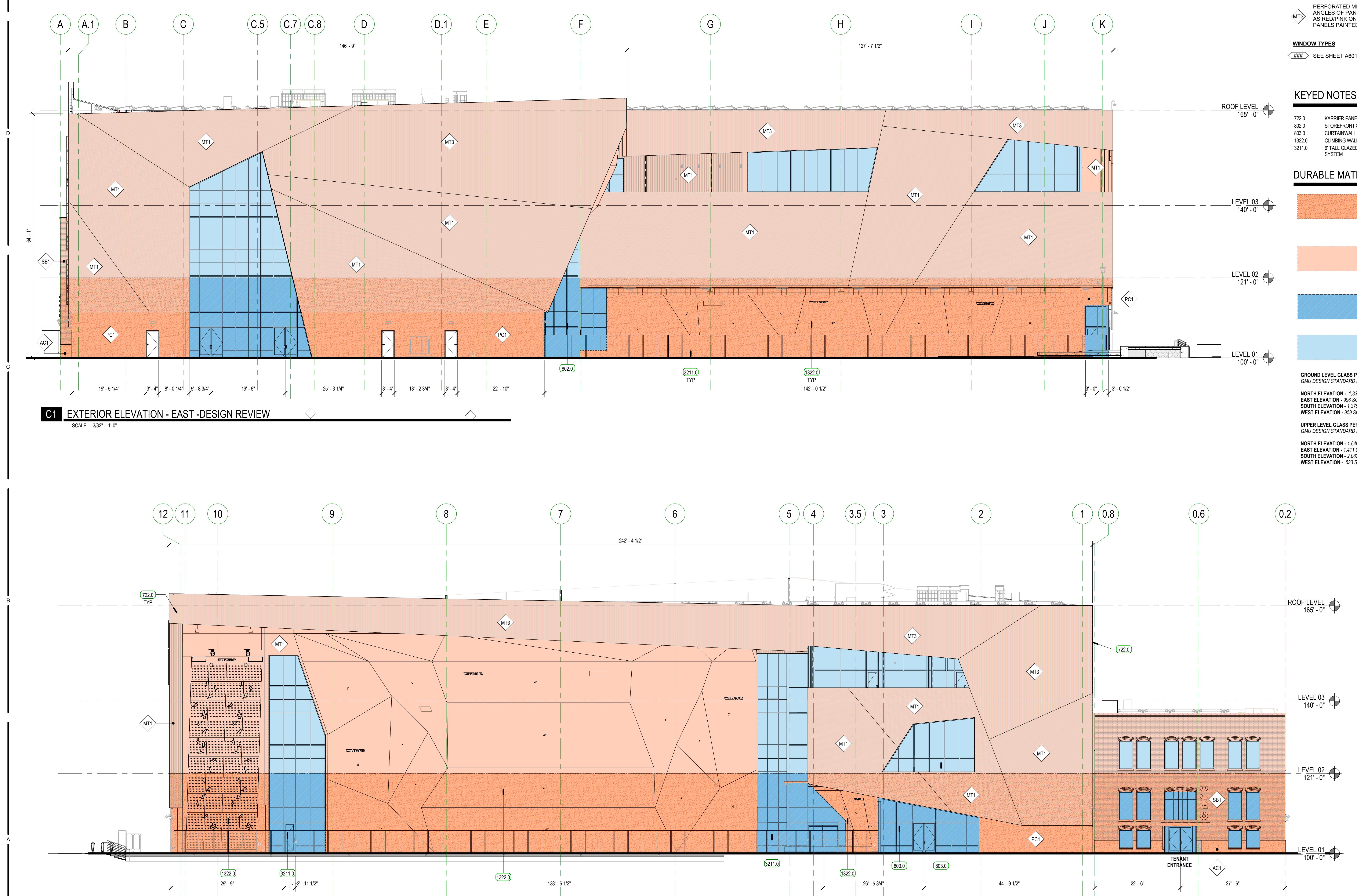
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DATE: JANUARY 22, 2026

KEY PLAN



A1 EXTERIOR ELEVATION - NORTH - DESIGN REVIEW

SCALE: 3/32" = 1'-0"



EXTERIOR ELEVATIONS

EXTERIOR FINISH SCHEDULE

SALT LAKE CITY MATTRESS BUILDING MASONRY & CONCRETE

SB1 SALVAGED BRICK ON MASONRY STRUCTURE

EXPOSED CONCRETE

AC1 EXPOSED CONCRETE - PROVIDE ARCHITECTURAL GRADE FINISH

PRECAST CONCRETE PANEL SYSTEM

PC1 REINFORCED CONCRETE PANEL SYSTEM, SANDWICHED WITH RIGID INSULATION - REFER TO PANEL ELEVATIONS AND WALL TYPES; CUSTOM PATTERN CAST IN - PATTERN TBD

METAL PANEL

MT1 REPEATING CUSTOM PATTERN OF METAL PANELS - MORIN MX-1 AND MORIN MX-3 PATTERN SPECIFIED IN DETAIL A519/05 (COLORS IN DETAIL FOR REFERENCE ONLY); DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; PANELS PAINTED, COLOR TBD

MT2 METAL PANEL MORIN MX-1; DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; PANELS PAINTED, COLOR TBD

MT3 PERFORATED METAL PANEL MORIN MX-1; DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; CALLED OUT AS RED/PINK ON ELEVATIONS (COLOR FOR REFERENCE ONLY); PANELS PAINTED, COLOR TBD

WINDOW TYPES

SEE SHEET A601

SALT LAKE CITY - HQ
524 SOUTH 600 EAST
SALT LAKE CITY, UT 84102
801.575.8800ST. GEORGE
20 N. MAIN ST. #103
ST. GEORGE, UT 84770
435.522.7070VCBO.COM
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EXTERIOR FINISH SCHEDULE

SALT LAKE CITY MATTRESS BUILDING MASONRY & CONCRETE

SB1 SALVAGED BRICK ON MASONRY STRUCTURE

EXPOSED CONCRETE

AC1 EXPOSED CONCRETE - PROVIDE ARCHITECTURAL GRADE FINISH

PRECAST CONCRETE PANEL SYSTEM

PC1 REINFORCED CONCRETE PANEL SYSTEM, SANDWICHED WITH RIGID INSULATION - REFER TO PANEL ELEVATIONS AND WALL TYPES; CUSTOM PATTERN CAST IN - PATTERN TBD

METAL PANEL

MT1 REPEATING CUSTOM PATTERN OF METAL PANELS, MORIN MX-1 AND MORIN MX-3, PATTERN SPECIFIED IN DETAIL A519103 (COLORS IN DETAIL FOR REFERENCE ONLY); DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; PANELS PAINTED, COLOR TBD

MT2 METAL PANEL MORIN MX-1; DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; PANELS PAINTED, COLOR TBD

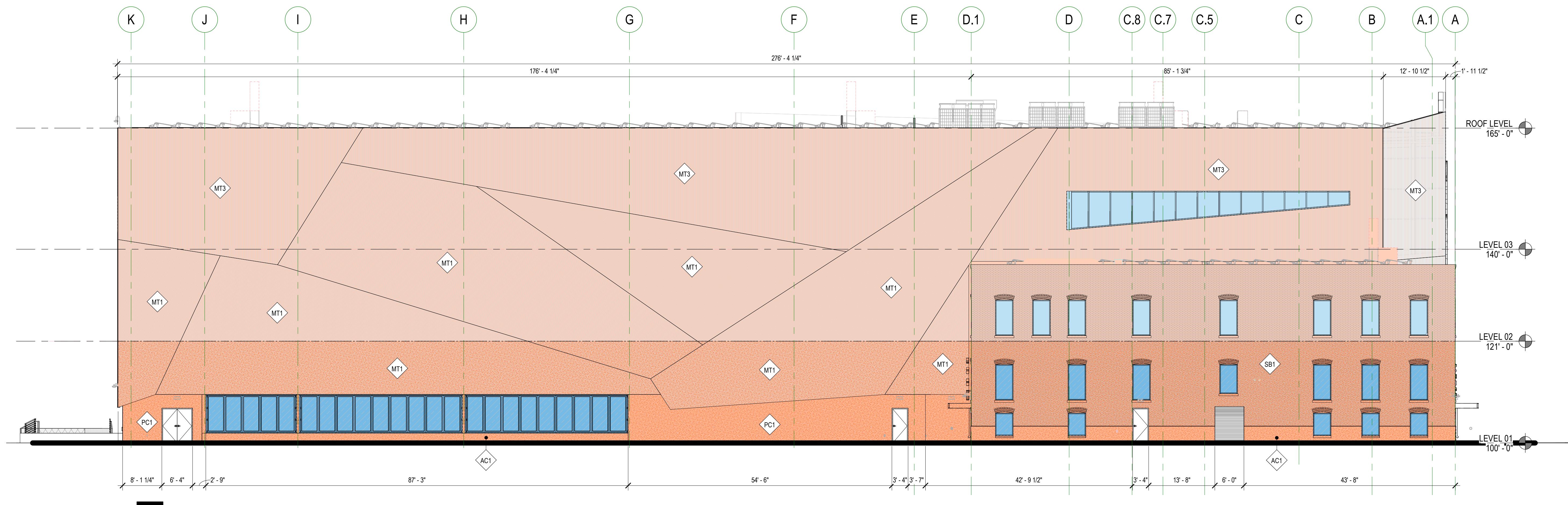
MT3 PERFORATED METAL PANEL MORIN MX-1; DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; CALLED OUT AS RED/PINK ON ELEVATIONS (COLOR FOR REFERENCE ONLY); PANELS PAINTED, COLOR TBD

WINDOW TYPES

AC1 SEE SHEET A601

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KEYED NOTES

1209.0 BICYCLE RACKS

DURABLE MATERIALS & GLASS LEGEND

AREA OF DURABLE MATERIALS ON GROUND LEVEL
*NOTE ALL MATERIALS (CONCRETE, METAL PANEL, RE-INSTALLED/RESTORED MASONRY, AND WOOD CLIMBING WALLS MEET THE REQUIREMENTS OF ORDINANCE SO PERCENTAGE OF DURABLE MATERIALS IS 100%

AREA OF DURABLE MATERIALS ON UPPER LEVELS
OF EACH ELEVATION
*NOTE ALL MATERIALS (CONCRETE, METAL PANEL, RE-INSTALLED/RESTORED MASONRY, AND WOOD CLIMBING WALLS MEET THE REQUIREMENTS OF ORDINANCE SO PERCENTAGE OF DURABLE MATERIALS IS 100%

GROUND LEVEL GLAZED AREAS - REFER TO TABLE BELOW FOR AREA AND PERCENTAGES ON EACH ELEVATION

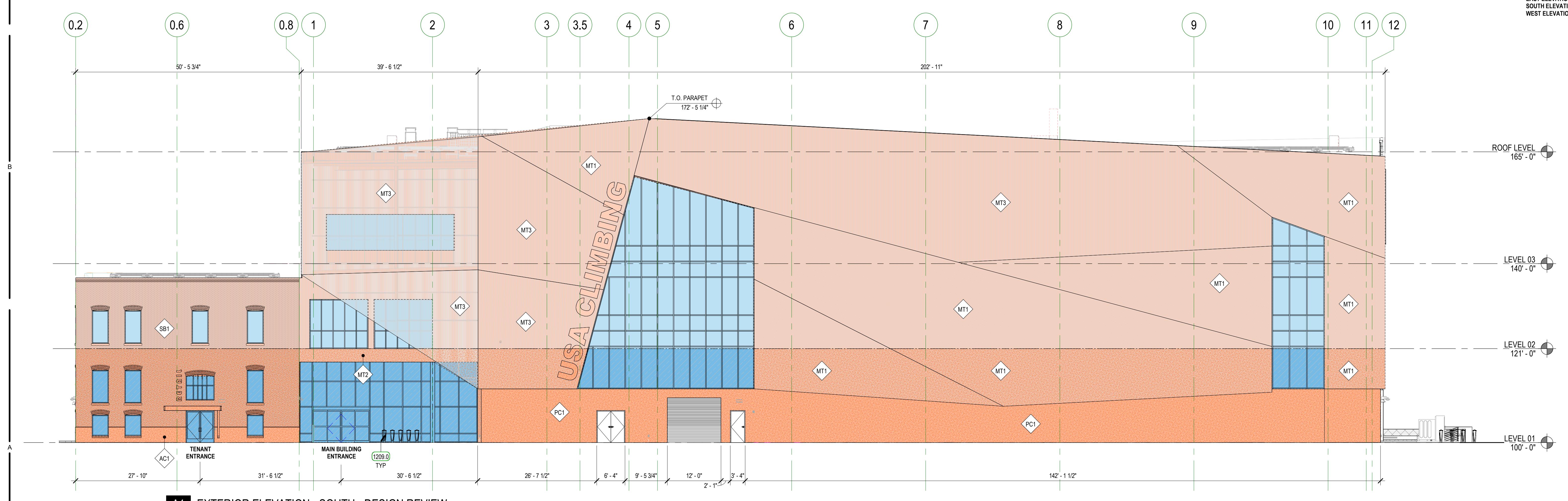
UPPER LEVEL GLAZED AREAS - REFER TO TABLE BELOW FOR AREA AND PERCENTAGES ON EACH ELEVATION

GROUND LEVEL GLASS PERCENTAGE ANALYSIS

GML DESIGN STANDARD REQUIREMENT - 60%
NORTH ELEVATION - 1,339 SQ. FT. OF GLAZING/144 SQ. FT. OF WALL AREA = 21.8%
EAST ELEVATION - 986 SQ. FT. OF GLAZING/6,701 SQ. FT. OF WALL AREA = 17.8%
SOUTH ELEVATION - 1,375 SQ. FT. OF GLAZING/9,973 SQ. FT. OF WALL AREA = 23.0%
WEST ELEVATION - 959 SQ. FT. OF GLAZING/6,658 SQ. FT. OF WALL AREA = 16.9%

UPPER LEVEL GLASS PERCENTAGE ANALYSIS

GML DESIGN STANDARD REQUIREMENT - 40%
NORTH ELEVATION - 1,469 SQ. FT. OF GLAZING/1,744 SQ. FT. OF WALL AREA = 14.0%
EAST ELEVATION - 1,113 SQ. FT. OF GLAZING/12,293 SQ. FT. OF WALL AREA = 11.5%
SOUTH ELEVATION - 2,082 SQ. FT. OF GLAZING/12,281 SQ. FT. OF WALL AREA = 17.0%
WEST ELEVATION - 533 SQ. FT. OF GLAZING/12,142 SQ. FT. OF WALL AREA = 4.4%



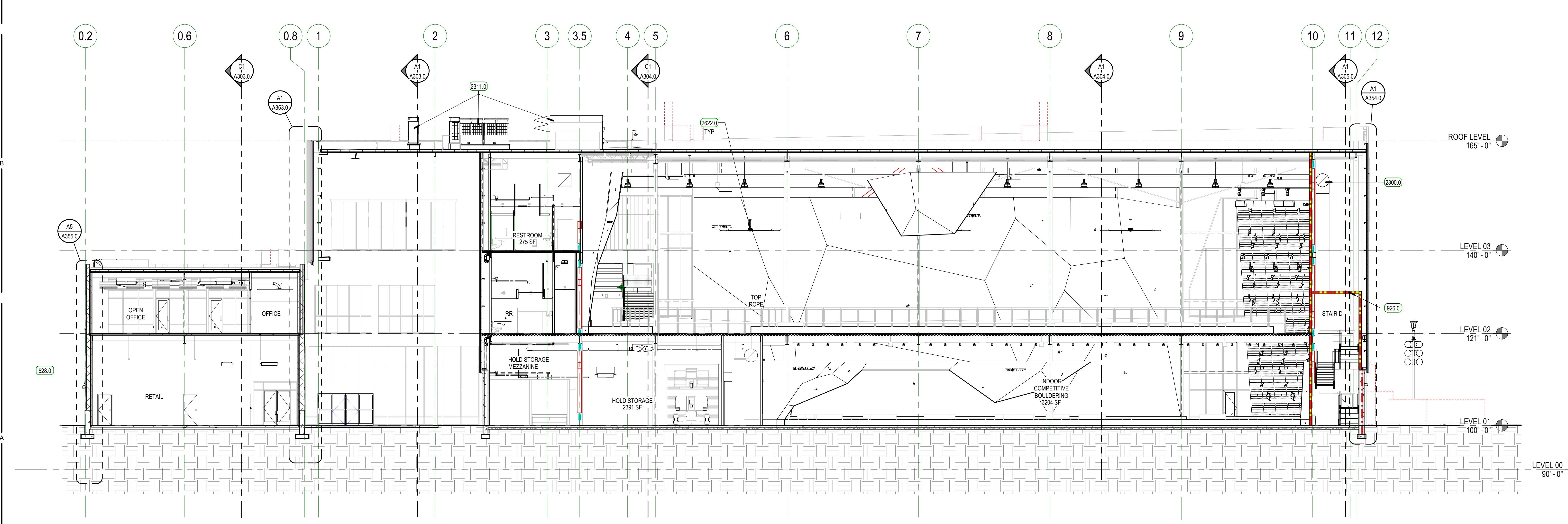
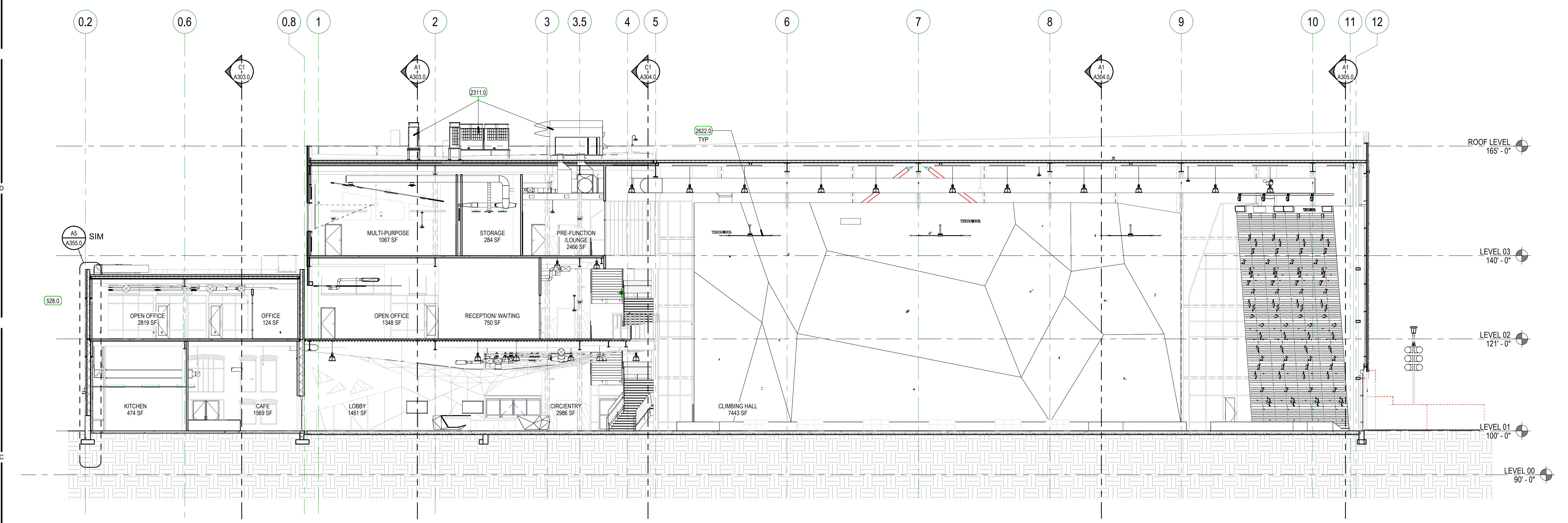
KEYED NOTES

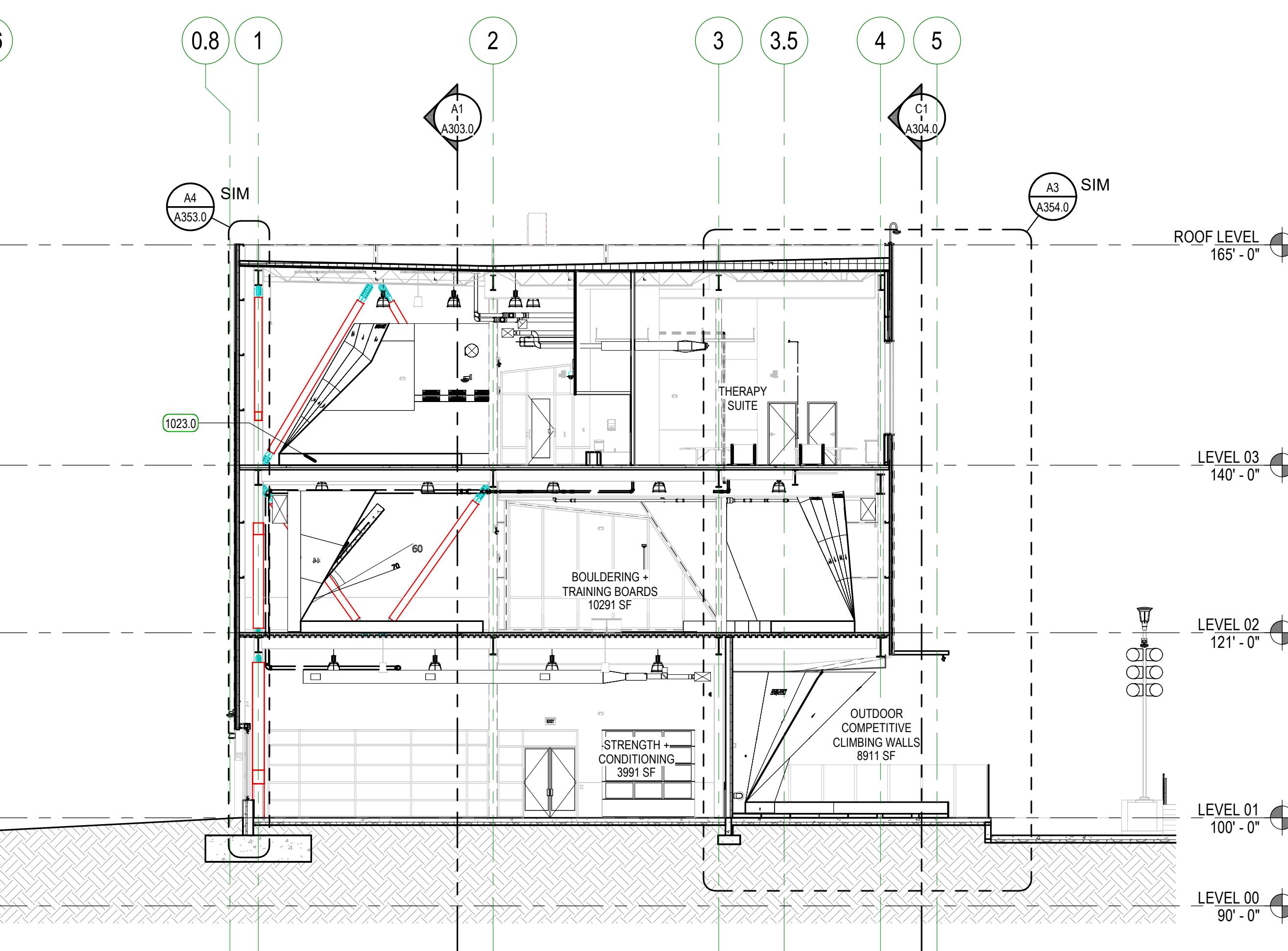
528.0 BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 926.0 1-HOUR FIRE-RATED METAL STUD FRAMED GYPSUM BOARD PROTECTED CEILING ASSEMBLY PER UL DESIGN NO. 1508
 2300.0 MECHANICAL DUCT, PAINTED WHERE EXPOSED
 2311.0 MECHANICAL ROOFTOP UNIT
 2622.0 LARGE OVERHEAD FAN

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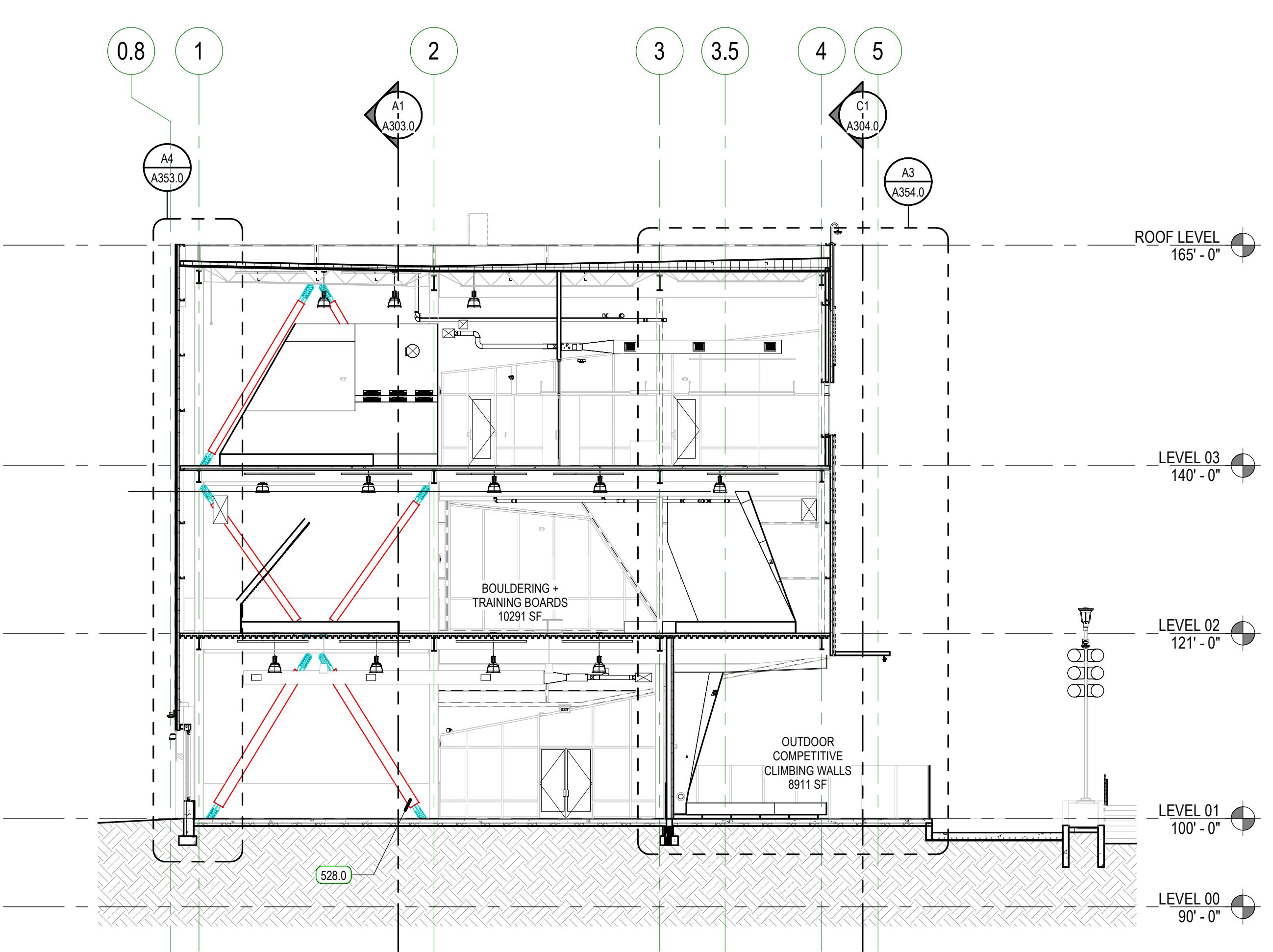
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C1 BUILDING SECTION - EW 3

SCALE: 3/32" = 1'-0"



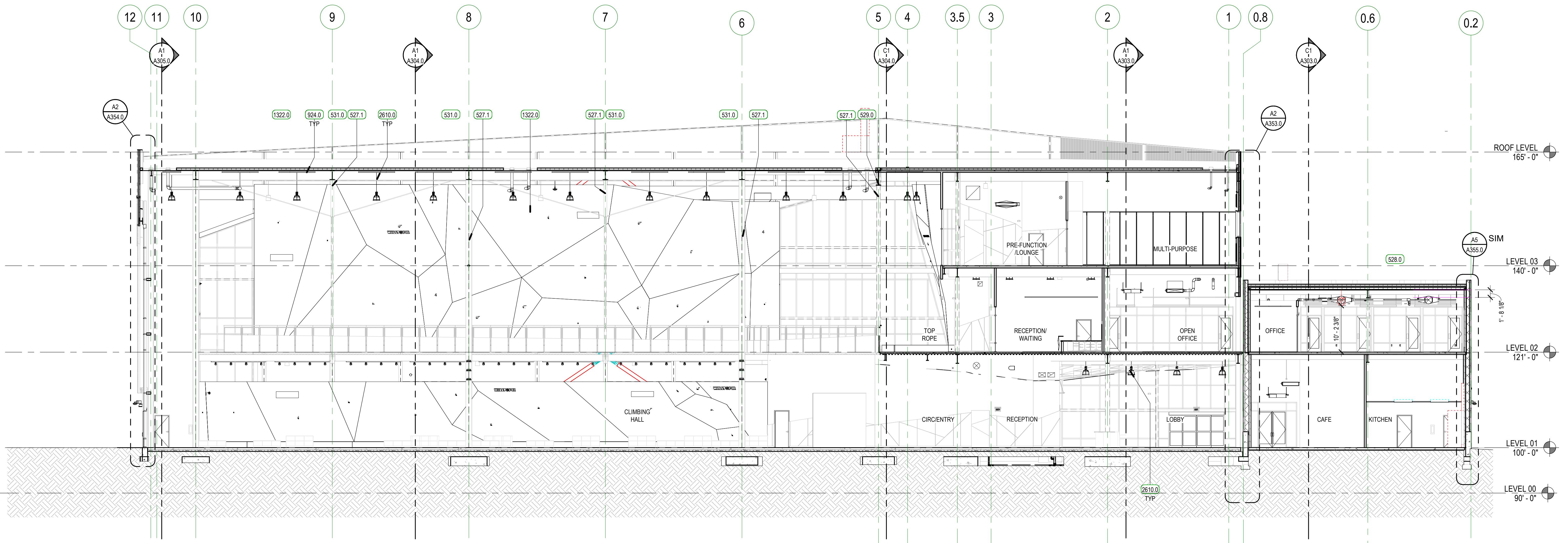
C3 BUILDING SECTION - EW 4

SCALE: 3/32" = 1'-0"

KEYED NOTES

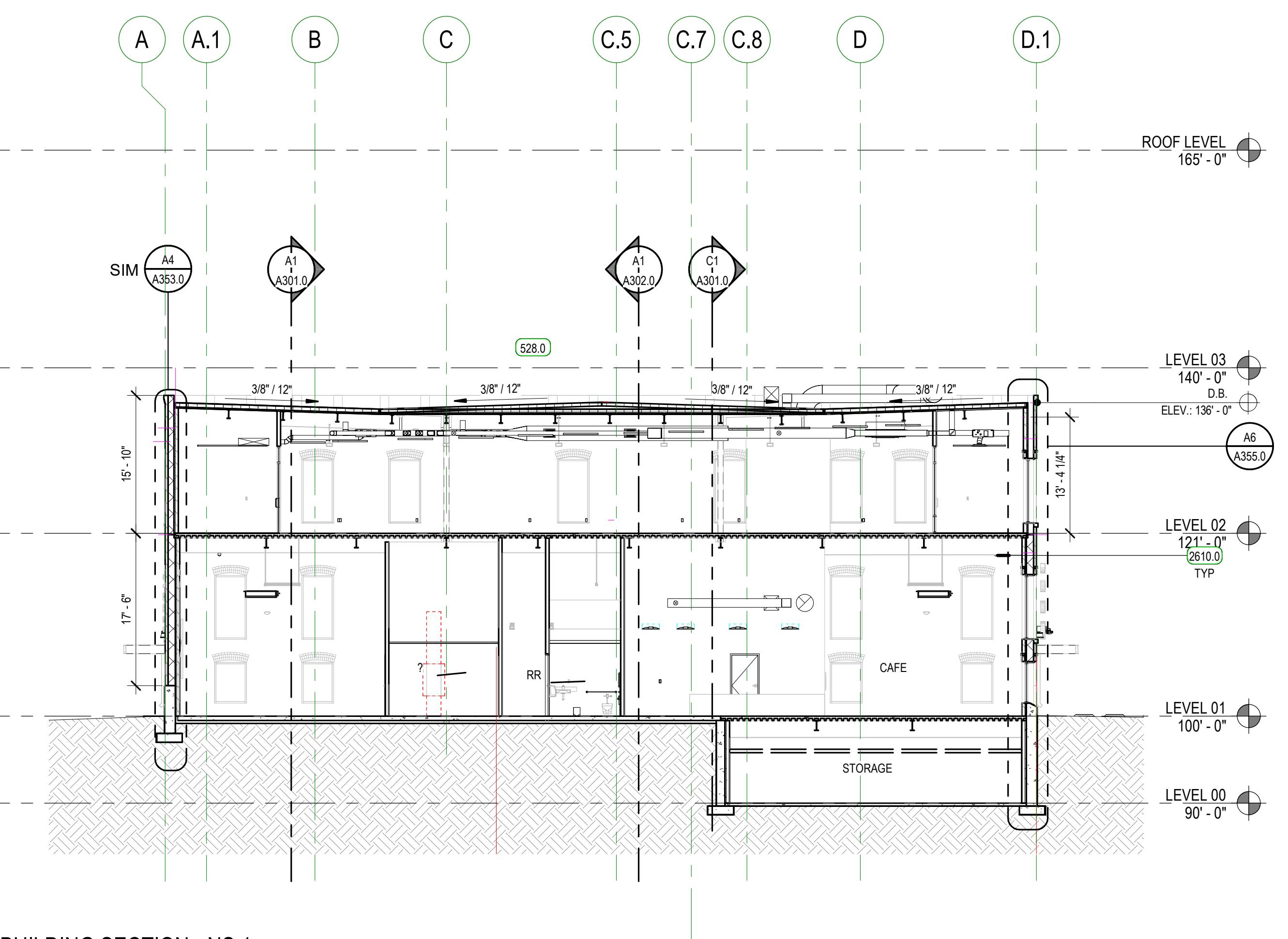
527.1 STEEL COLUMN, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 528.0 BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 529.0 STEEL BEAM, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 531.0 STEEL TRUSS, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 924.0 SCHEDULED TECTUM CEILING PANEL
 1029.0 CLIMBING WALL, N.I.C.
 1322.0 CLIMBING WALL, N.I.C.
 2610.0 LIGHT FIXTURE

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A1 BUILDING SECTION - EW 5

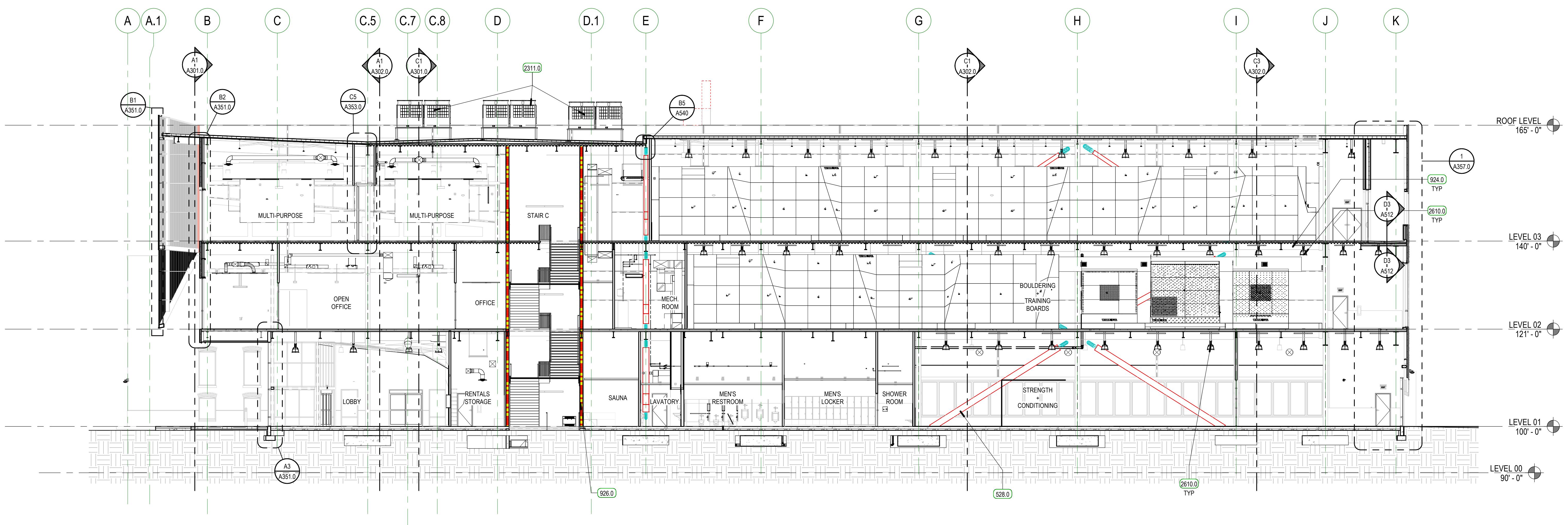
SCALE: 3/32" = 1'-0"



KEYED NOTES

528.0 BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 924.0 SCHEDULED TECTUM CEILING PANEL
 926.0 1-HOUR FIRE-RATED METAL STUD FRAMED GYPSUM BOARD PROTECTED CEILING ASSEMBLY PER UL DESIGN NO. 1508
 2311.0 MECHANICAL ROOFTOP UNIT
 2610.0 LIGHT FIXTURE

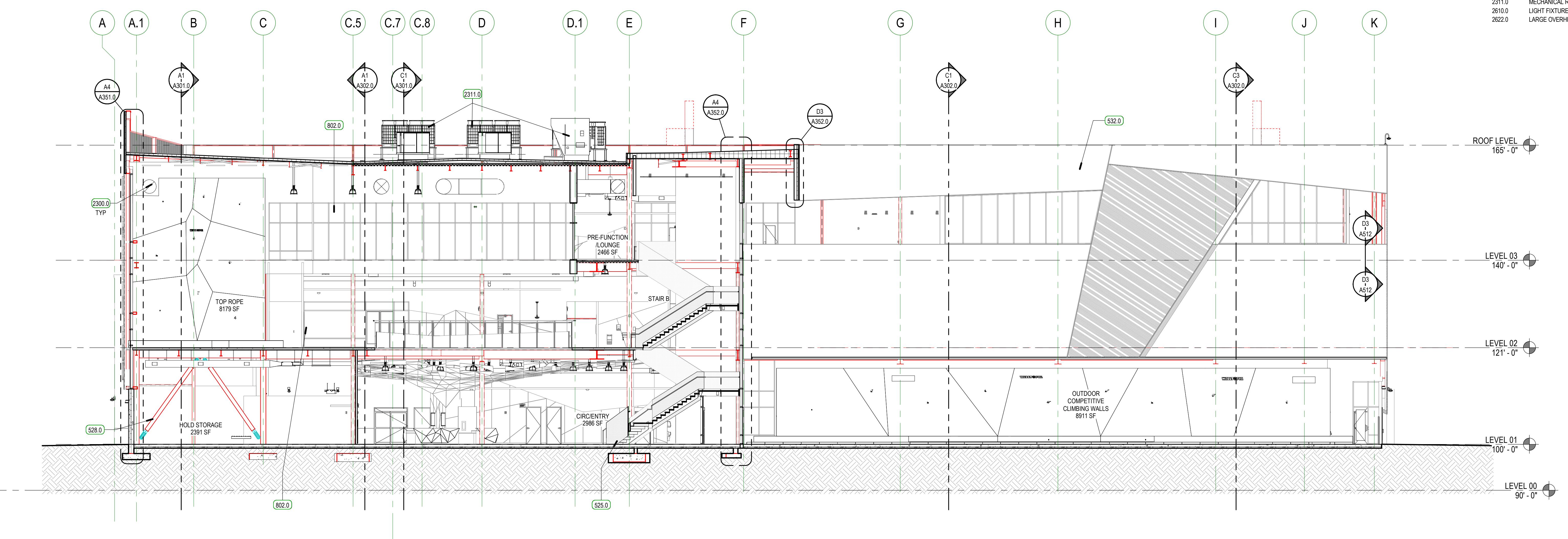
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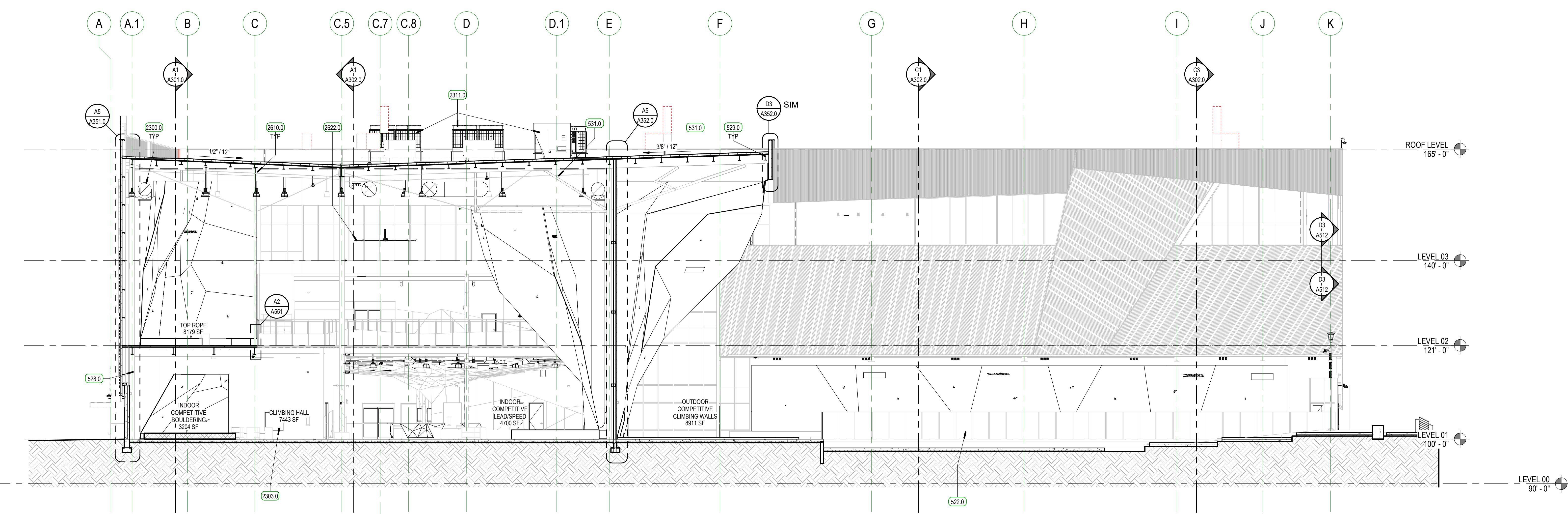
KEYED NOTES

522.0 42" GUARDRAIL, REMOVABLE SECTIONS FOR HOLDS
 525.0 CUSTOM STEEL PERFORATED PANEL GUARDRAIL, VERTICAL AND TOP STEEL SUPPORTS
 528.0 BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 529.0 STEEL BEAM, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 531.0 STEEL TRUSS, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 532.0 NO. 10 PANEL, 1-HR FIRE RATING
 802.0 STOREFRONT SYSTEM
 2300.0 MECHANICAL DUCT, PAINTED WHERE EXPOSED
 2303.0 MECHANICAL GRILLE, PAINTED WHERE EXPOSED
 2311.0 MECHANICAL ROOFTOP UNIT
 2610.0 LIGHT FIXTURE
 2622.0 LARGE OVERHEAD FAN

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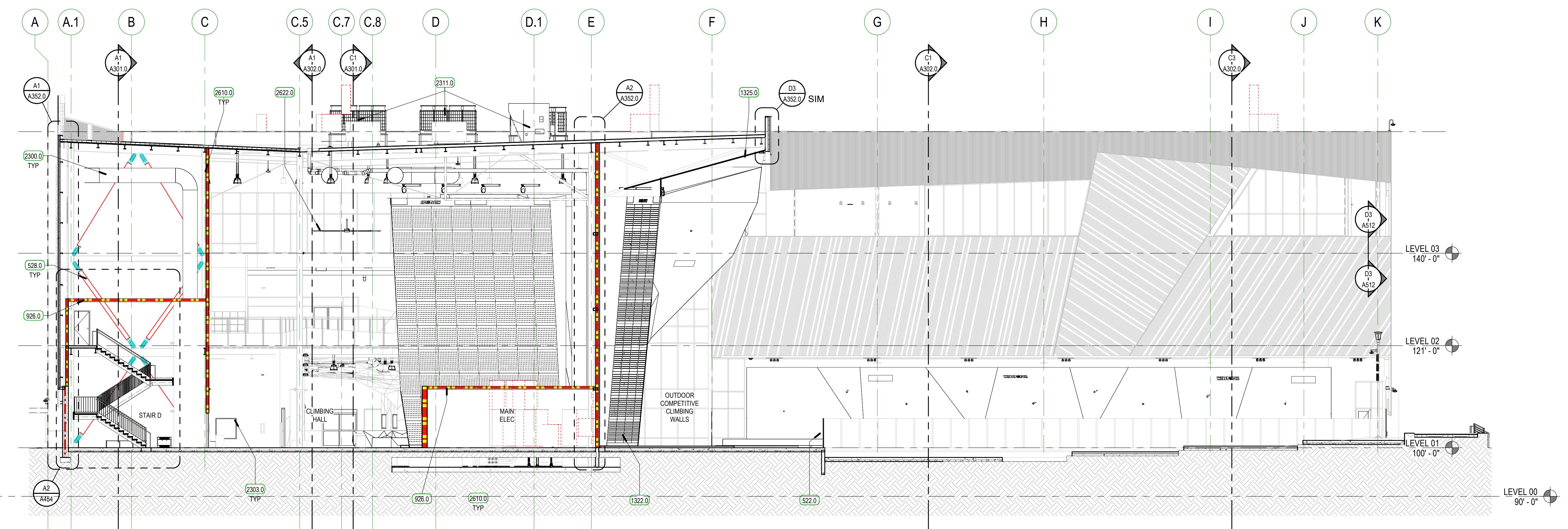
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A1 BUILDING SECTION - NS 5

SCALE: 3/32" = 1'-0"



KEYED NOTES

522.0 42" GUARDRAIL, REMOVEABLE SECTIONS FOR HOLDS
 528.0 BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
 926.0 1-HOUR FIRE-RATED METAL STUD FRAMED GYPSUM BOARD PROTECTED CEILING
 1322.0 CLIMBING WALL, N.C.
 1325.0 COATED TEXTILE MEMBRANE - CLOSING GAP BETWEEN CLIMBING WALL AND OVERHANG
 2320.0 MECHANICAL DUCT, PAINTED WHERE EXPOSED
 2323.0 MECHANICAL GRILLE, PAINTED WHERE EXPOSED
 2311.0 MECHANICAL ROOFTOP UNIT
 2610.0 LIGHT FIXTURE
 2622.0 LARGE OVERHEAD FAN

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