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DESIGN REVIEW
JANUARY 22, 2026



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GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONAL AND UTILITY DESCRIPTIONS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF/HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE/SHE MAY PREFER OF THE LOCATION OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS/HER EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM/HER TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE/SHE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS/HER BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE/SHE HAS RELIED AND IS RELYING ON HIS/HER OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS/HER OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE/SHE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS/HER BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

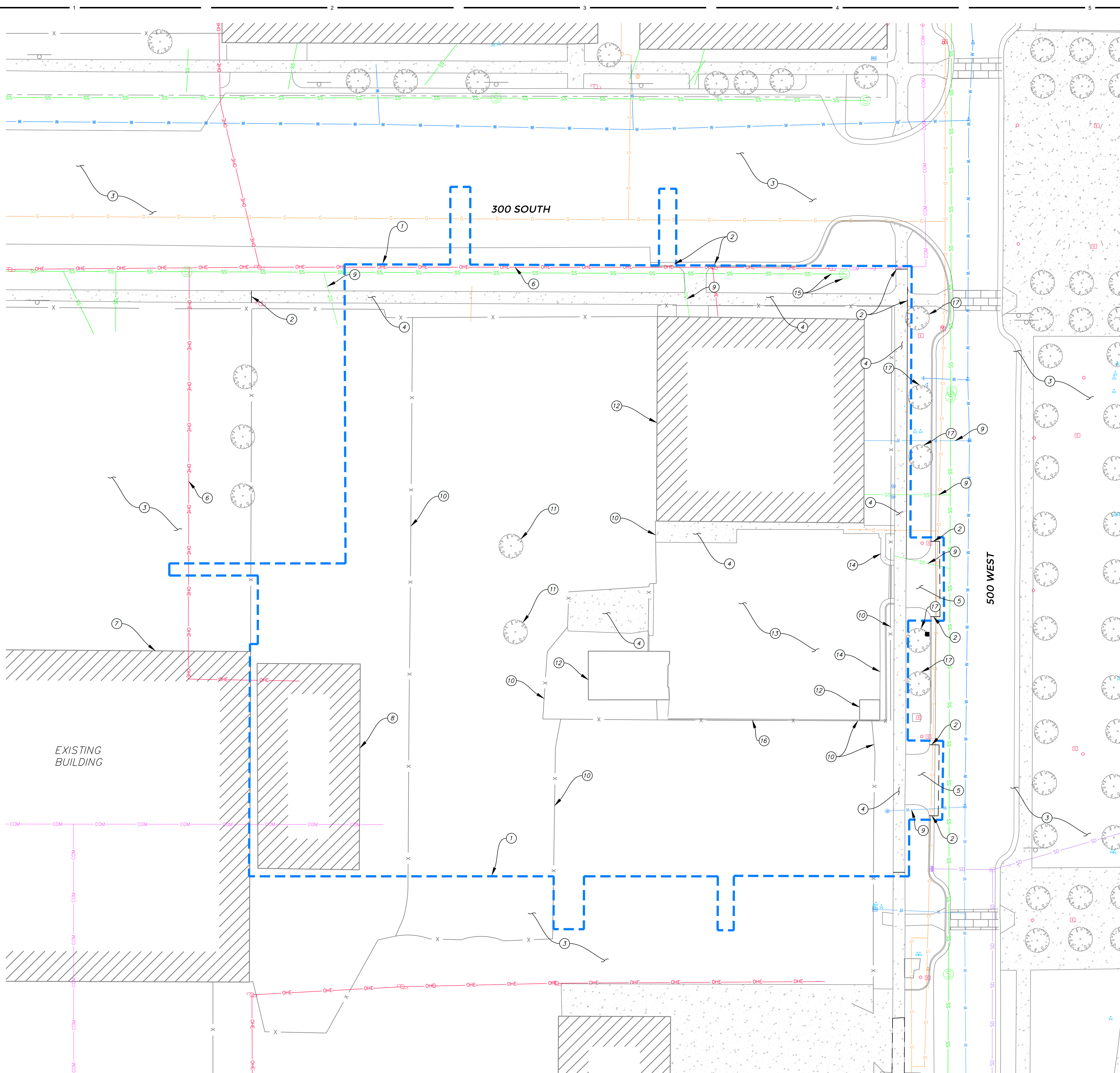
GENERAL NOTES CONT.

- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED WHERE NECESSARY. SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
 - WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
 - CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
 - CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKERS FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.
 - ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
 - UNCLASSIFIED EXCAVATION SHALL BE PROPERLY DISPOSED OF PER GOVERNMENT REGULATIONS.
 - UNLESS NOTED OTHERWISE IN THE PLANS & CONSTRUCTION DOCUMENTS, USE SALT LAKE CITY STANDARD DETAILS.
 - THE IMPROVEMENTS SHOULD BE CONSTRUCTED BASED ON SURVEY OF EXISTING CONDITION USED AS BASIS OF DESIGN. CONTRACTOR TO USE STANDARD RFI PROCESS IF HE DISCOVERS A DISCREPANCY IN THE ACTUAL CONDITION OR NOT AS SURVEYED.
- UTILITY NOTES
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
 - CONTRACTOR SHALL PLOT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
 - CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
 - ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
 - CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
 - CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
 - CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
 - SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
 - CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
 - EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKERS MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COST OF DEWATERING AND NO COST CHANGE WILL BE PROVIDED.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
 - MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS, UNLESS OTHERWISE SPECIFIED IN THE PLANS.
 - CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
 - ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
 - UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
 - ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 48" OF COVER TO TOP OF PIPE BELOW FINISHED GRADE.
 - ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES.
 - CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
 - ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
 - CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
 - UNDER NO CIRCUMSTANCE SHALL THE PIPE OR ACCESSORIES BE DROPPED INTO THE TRENCH.
 - ALL IRRIGATION SYSTEMS ARE TO REMAIN FUNCTIONAL DURING CONSTRUCTION. CAP BROKEN LINES UNTIL REPAIR, SO THAT SYSTEM IS FUNCTIONAL.

LEGEND

| SYMBOL/LINETYPE | DESCRIPTION | HATCH LEGEND |
|-----------------|-----------------------------------|-------------------|
| | LIMITS OF DISTURBANCE | EXISTING BUILDING |
| | EXISTING FENCE | |
| | EXISTING WATER VALVE | EXISTING CONCRETE |
| | EXISTING WATER METER | |
| | EXISTING FIRE HYDRANT | PROPOSED ASPHALT |
| | EXISTING ELECTRICAL BOX | |
| | EXISTING LIGHT POLE | PROPOSED CONCRETE |
| | EXISTING TELECOMMUNICATIONS VAULT | |
| | MISCELLANEOUS MANHOLE | PROPOSED BUILDING |
| | EXISTING SANITARY SEWER MANHOLE | |
| | EXISTING GAS METER | |
| | EXISTING STORM DRAIN DROP INLET | |
| | EXISTING SEWER PIPE | |
| | EXISTING STORM DRAIN PIPE | |
| | EXISTING WATER PIPE | |
| | PROPERTY LINE | |
| | EXISTING POWER POLE | |
| | EXISTING GUY WIRE | |
| | EXISTING SIGN | |
| | EXISTING MAIL BOX | |
| | EXISTING TREE | |
| | EXISTING TREE TO BE REMOVED | |
| | PROPOSED OBJECT MARKERS SIGN | |
| | PROPOSED CATCH BASIN | |
| | PROPOSED STORM DRAIN LINE | |
| | PROPOSED FENCE | |
| | ROAD CENTERLINE | |
| | UTILITY DEMO | |
| | PROPOSED CURB AND GUTTER | |





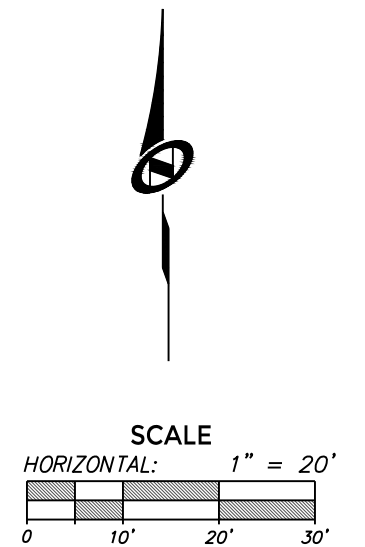
DEMOLITION NOTES

GENERAL NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM RECORD DRAWINGS AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES BEFORE BEGINNING DEMOLITION/CONSTRUCTION AND NOTIFY ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY THEMSELVES AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM THEIR OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.
- CONTRACTOR TO COORDINATE WITH UTILITY OWNER AND APPLICABLE UTILITY PROVIDER PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR TO STUB AND DEMOLISH UTILITIES AT LIMITS OF DISTURBANCE OR AS DIRECTED BY UTILITY PROVIDER OR OWNER.
- PRIOR TO PERFORMING ANY WORK OR STAGING ANY MATERIALS OR EQUIPMENT IN THE PUBLIC WAY, A PERMIT TO WORK IN THE PUBLIC WAY MUST BE OBTAINED BY A STATE LICENSED, STATE BONDED AND INSURED CONTRACTOR. PERMITS AVAILABLE AT SLC.GOV.

KEYNOTES

- APPROXIMATE LIMITS-OF-DISTURBANCE.
- SAWCUT TO PROVIDE SMOOTH CLEAN EDGE.
- PRESERVE AND PROTECT EXISTING IMPROVEMENTS BEYOND LIMITS OF DISTURBANCE. CONTRACTOR RESPONSIBLE FOR REPLACING DAMAGED IMPROVEMENTS.
- REMOVE AND PROPERLY DISPOSE OF CONCRETE
- REMOVE AND PROPERLY DISPOSE OF DRIVE APPROACH
- EXISTING OVERHEAD POWER TO BE BURIED AS PART OF RIO GRANDE PROJECT
- PRESERVE AND PROTECT EXISTING BUILDING
- EXISTING BUILDING TO REMAIN AND BE RESTORED. SEE ARCHITECTURAL PLANS.
- EXISTING LATERAL TO BE ABANDONED/KILLED PER SLCPU STANDARDS.
- REMOVE AND PROPERLY DISPOSE OF FENCE
- REMOVE AND PROPERLY DISPOSE OF TREE
- REMOVE AND PROPERLY DISPOSE OF BUILDING
- REMOVE AND PROPERLY DISPOSE OF ASPHALT
- REMOVE AND PROPERLY DISPOSE OF CURB AND GUTTER
- EXISTING SEWER MANHOLE AND SEWER MAIN TO BE REMOVED AND REPLACED AS PART OF RIO GRANDE PROJECT
- REMOVE AND PROPERLY DISPOSE OF CURB WALL
- PRESERVE AND PROTECT EXISTING TREES. TREE PROTECTION ZONE TO BE ESTABLISHED ACROSS ENTIRE WIDTH OF PARKWAY WITH 6' CHAIN LINK FENCE PER SLC URBAN FORESTRY PRESERVATION POLICY.



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DESIGN DEVELOPMENT

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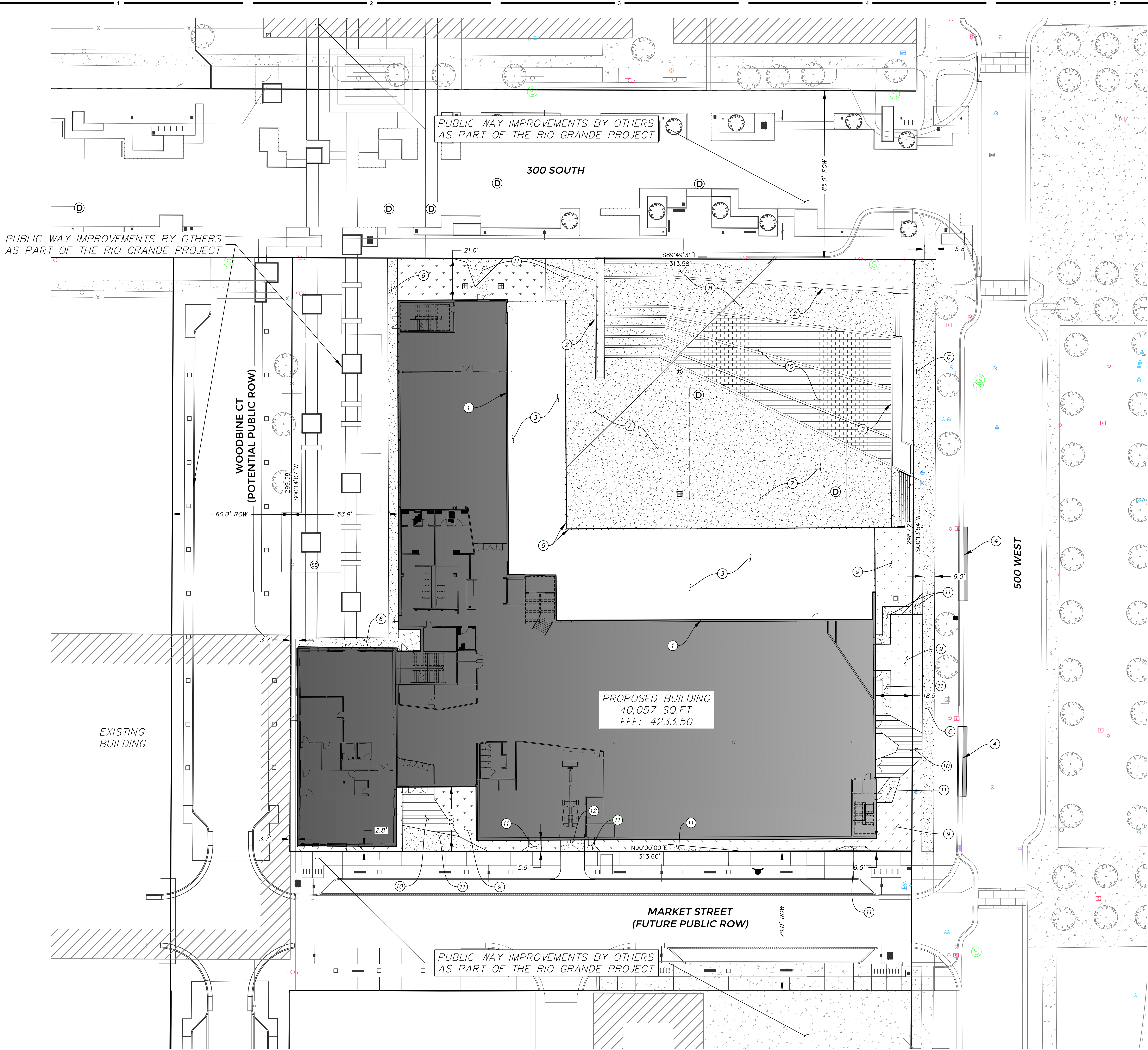
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| REV | DATE | DESCRIPTION |
|-----|------|-------------|
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DEMO PLAN

C100



SITE NOTES

GENERAL NOTES

1. SEE GRADING DRAWINGS FOR ADDITIONAL DESIGN INFORMATION.
2. NO PHASING IS ANTICIPATED FOR THIS PROJECT.

SCOPE OF WORK

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

KEYNOTES

1. PROPOSED BUILDING
2. CONCRETE PLANTER BOX. SEE LANDSCAPE PLANS.
3. CLIMBING WALL ENCLOSURE. SEE ARCHITECTURAL PLANS.
4. TYPE A CURB AND GUTTER PER APWA #205.1
5. CLIMBING WALL FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
6. SIDEWALK PER APWA #231
7. CONCRETE PLAZA WITH VEHICULAR LOADING. SEE DETAIL A ON C700.
8. CONCRETE PLAZA WITH PEDESTRIAN LOADING. SEE DETAIL B ON C700. FOR STAIR DETAIL SEE ARCHITECTURAL PLANS.
9. LANDSCAPING. SEE LANDSCAPING PLANS.
10. PAVERS. SEE LANDSCAPING PLANS.
11. CONCRETE SIDEWALK. SEE LANDSCAPING PLANS FOR FINISH DETAILS.
12. CONCRETE APRON WITH VEHICULAR LOADING. SEE DETAIL A ON C700.

NOTE:
PROPOSED PROPERTY LINE TO BE CREATED THROUGH LOT CONSOLIDATION OR PLATTING PROCESS AS PART OF THE RIO GRANDE PROJECT.

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VCBO NUMBER: 23310.00
CLIENT NUMBER: 00000
DATE: JANUARY 21, 2026



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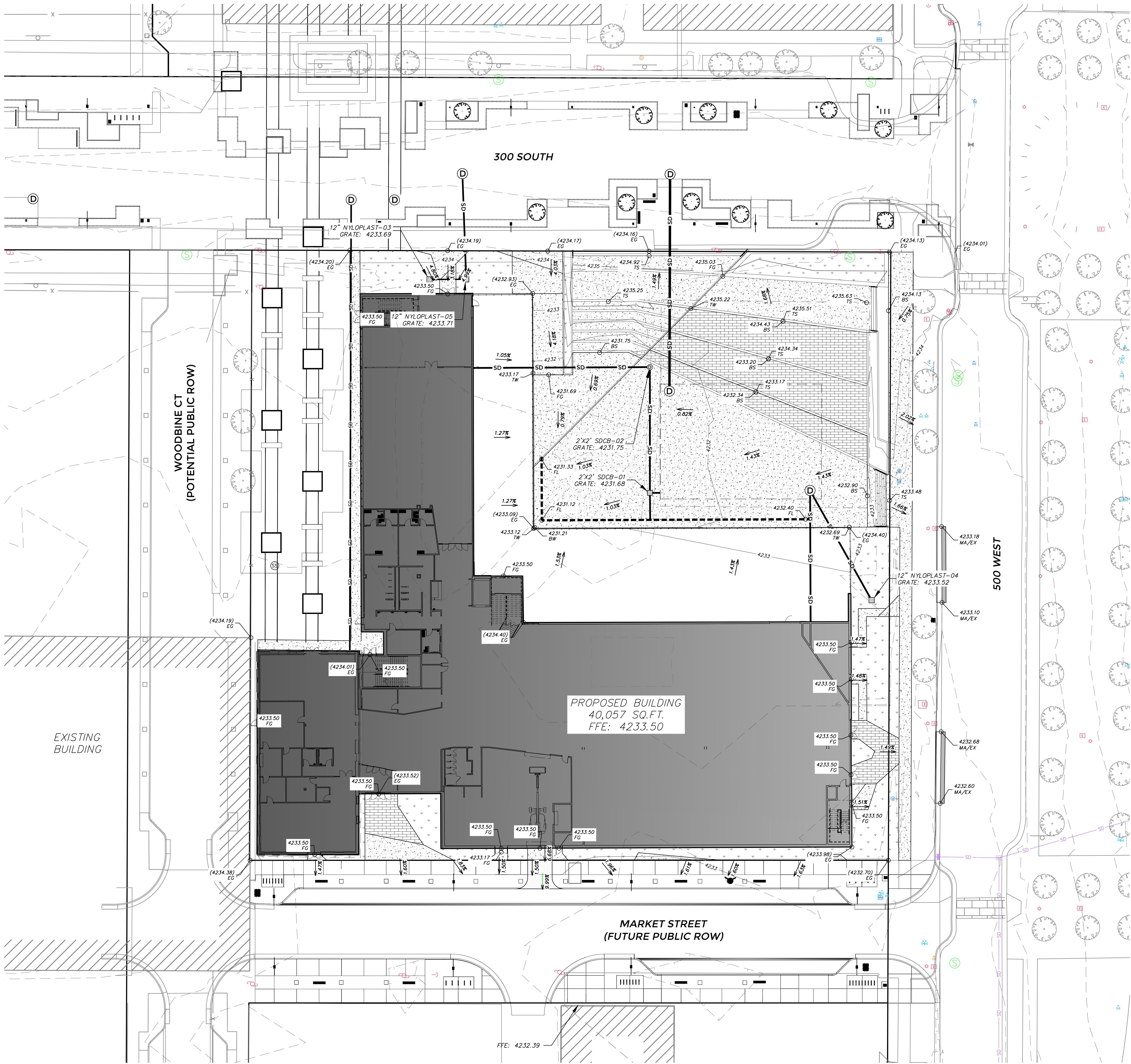
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DESIGN DEVELOPMENT

SITE PLAN

C200

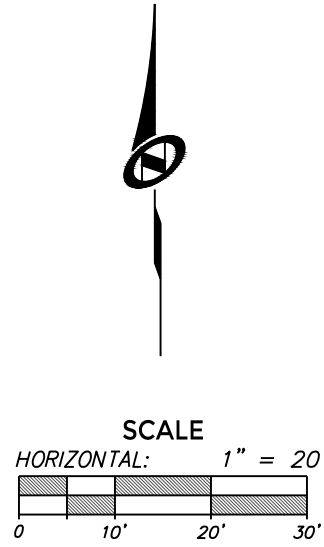


GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING THEM WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 96% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED GEOTECHNICAL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECIFICATIONS.
2. CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING SOIL CONDITIONS.
3. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL AND DUST SUPPRESSION FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC INFORMATION SHOWN ON DRAWINGS C-600 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
4. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
5. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.
6. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES, DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
7. SITE STORMWATER MUST BE COLLECTED ON SITE AND ROUTED TO THE PUBLIC STORM DRAIN SYSTEM OR GUTTER. STORMWATER CANNOT DISCHARGE ACROSS PROPERTY LINES OR PUBLIC SIDEWALKS.

ABBREVIATIONS

| | |
|-----|------------------|
| BS | BOTTOM OF STEP |
| BW | BOTTOM OF WALL |
| EX | EXISTING |
| FF | FINISHED FLOOR |
| FG | FINISHED GRADE |
| FL | FLOW LINE |
| GB | GRADE BREAK |
| HP | HIGH POINT |
| LP | LOW POINT |
| MA | MATCH |
| SW | SIDEWALK |
| TA | TOP OF ASPHALT |
| TBC | TOP BACK OF CURB |
| TC | TOP OF CONCRETE |
| TS | TOP OF STEP |
| TW | TOP OF WALL |
| TEC | TOP FLUSH CURB |



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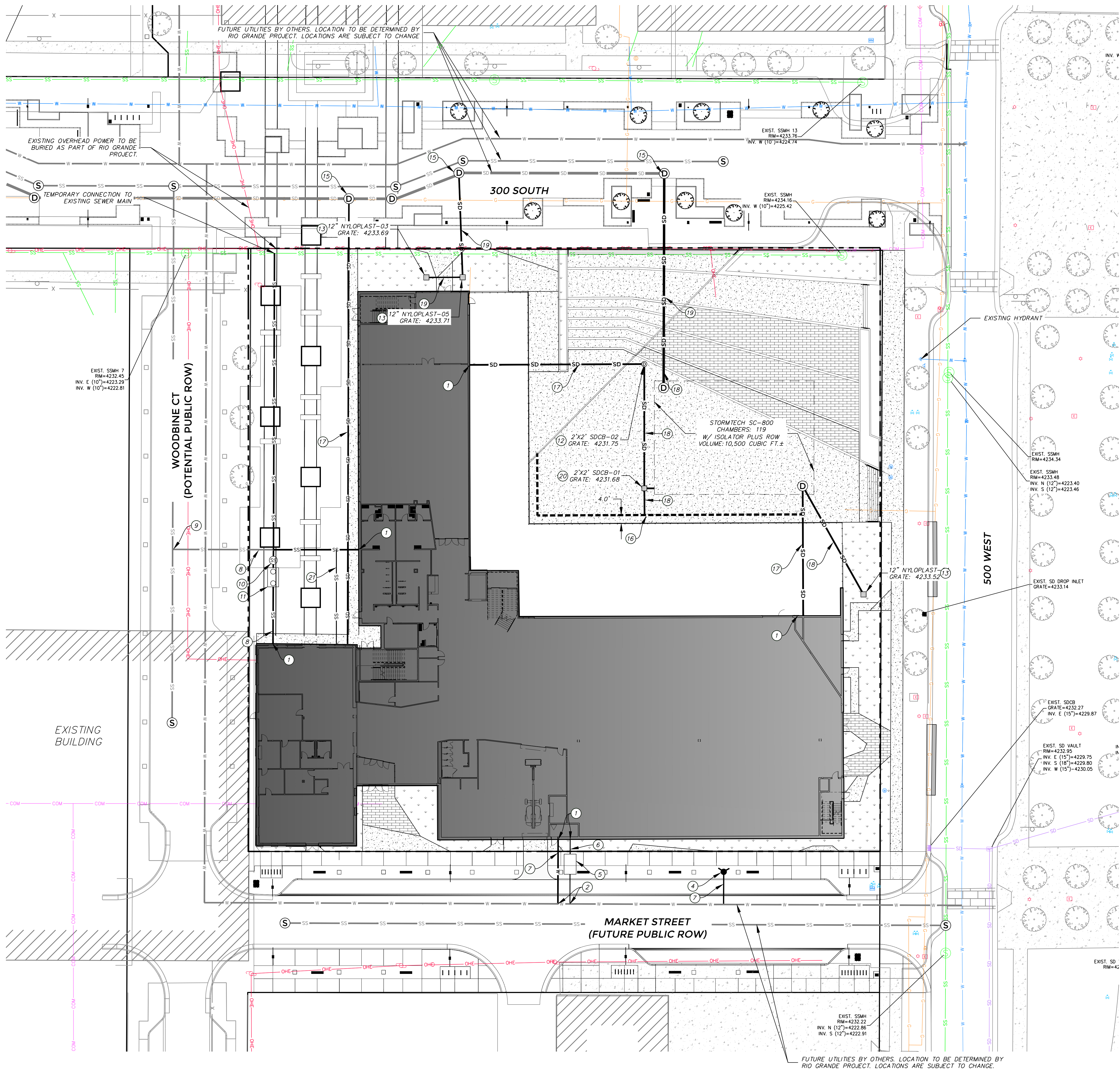
GRADING PLAN

C300

VCBO

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UTILITY NOTES

GENERAL NOTES

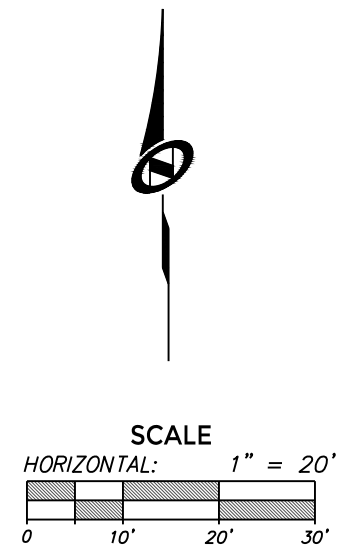
1. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH PLUMBING AND ELECTRICAL DRAWINGS.
2. A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM SALT LAKE CITY PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY.
3. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH DEPARTMENT OF PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
4. ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH DEPARTMENT OF PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
5. CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW COMMUNICATIONS SERVICES TO BUILDINGS WITH APPLICABLE UTILITY PROVIDER.
6. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
7. LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.
8. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES, DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
9. SEE ELECTRICAL PLANS FOR DRY UTILITY LOCATION, INSTALLATION AND DESIGN INFORMATION.
10. SITE STORMWATER MUST BE COLLECTED ON SITE AND ROUTED TO THE PUBLIC STORM DRAIN SYSTEM OR GUTTER. STORMWATER CANNOT DISCHARGE ACROSS PROPERTY LINES OR PUBLIC SIDEWALKS.
11. POWER COMPANY, GAS COMPANY, AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE SLCDPU UTILITY COORDINATOR AND THE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.
12. ALL UTILITY TRENCHING MUST BE PER SLCDPU STANDARD PRACTICE NO. 1.
13. PRESSURIZED CONNECTIONS TO THE PUBLIC STORM DRAIN SYSTEM ARE NOT ALLOWED.

SCOPE OF WORK

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

KEYNOTES

1. SEE PLUMBING PLANS FOR CONTINUATION.
2. CONNECT TO FUTURE WATER MAIN.
3. CONNECT TO FUTURE STORM DRAIN.
4. FIRE HYDRANT ASSEMBLY PER APWA 511 & SLCDPU STANDARD PRACTICES
5. 3" WATER METER PER APWA #523, APWA #505, & SLCDPU STANDARD PRACTICES.
6. 3" PVC C900 WATER LINE.
7. 8" PVC C900 PIPE FIRE LINE.
8. 6" SANITARY SEWER LATERAL.
9. CONNECT TO FUTURE SANITARY SEWER MAIN.
10. SAMPLING MANHOLE
11. GREASE TRAP
12. 2'X2' CATCH BASIN PER APWA #332 W/ SOLID LID
13. NYLOPLAST LANDSCAPE DRAIN
14. UNDERGROUND DETENTION SYSTEM
15. CONNECT TO FUTURE STORM DRAIN
16. TRENCH DRAIN
17. 8" HDPE ROOF DRAIN
18. 8" HDPE STORM DRAIN PIPE
19. 12" HDPE STORM DRAIN PIPE
20. 2'X2' CATCH BASIN PER APWA #332 W/ GRATED LID
21. 4" SANITARY SEWER LATERAL



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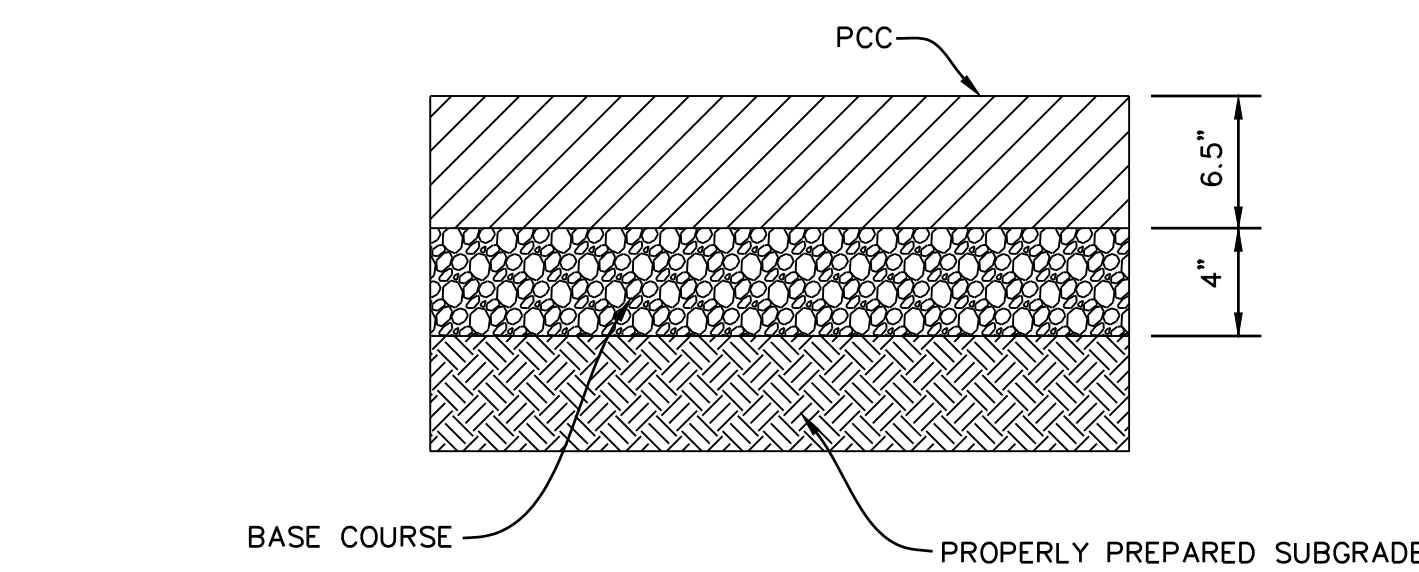
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UTILITY PLAN

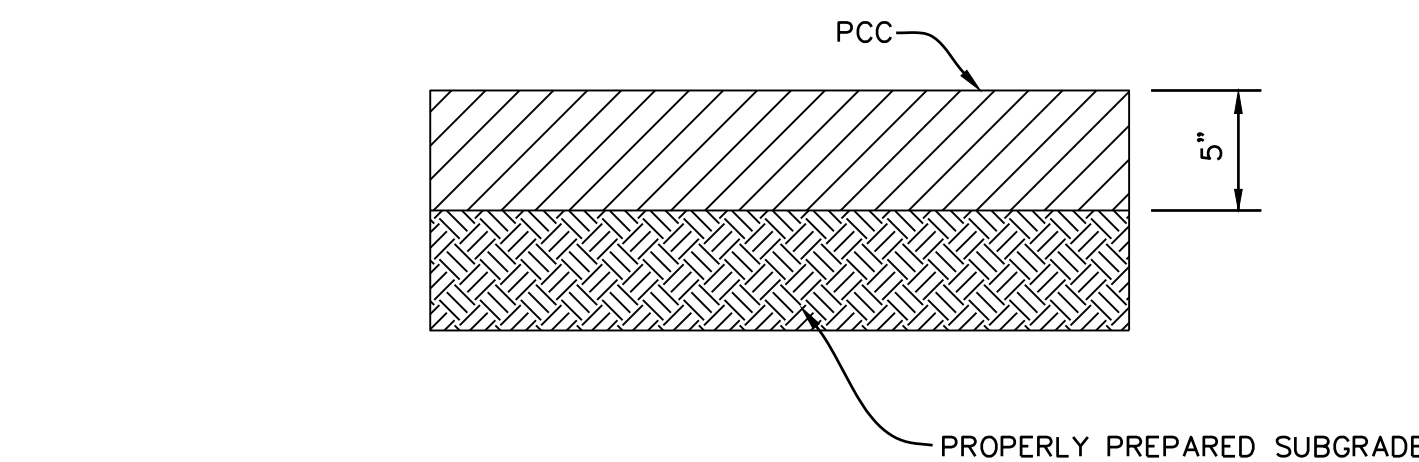
C400

- Curb and gutter**
- GENERAL**
 - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
 - Additional requirements are specified in APWA Section 32 16 13.
 - PRODUCTS**
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
 - EXECUTION**
 - Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density. APWA Section 31 23 26.
 - Concrete Placement: APWA Section 03 30 10.
 - 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
 - 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
 - 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

- Sidewalk**
- GENERAL**
 - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
 - Additional requirements are specified in APWA Section 32 16 13.
 - PRODUCTS**
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
 - EXECUTION**
 - Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
 - Concrete Placement: APWA Section 03 30 10.
 - 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
 - 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
 - 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.

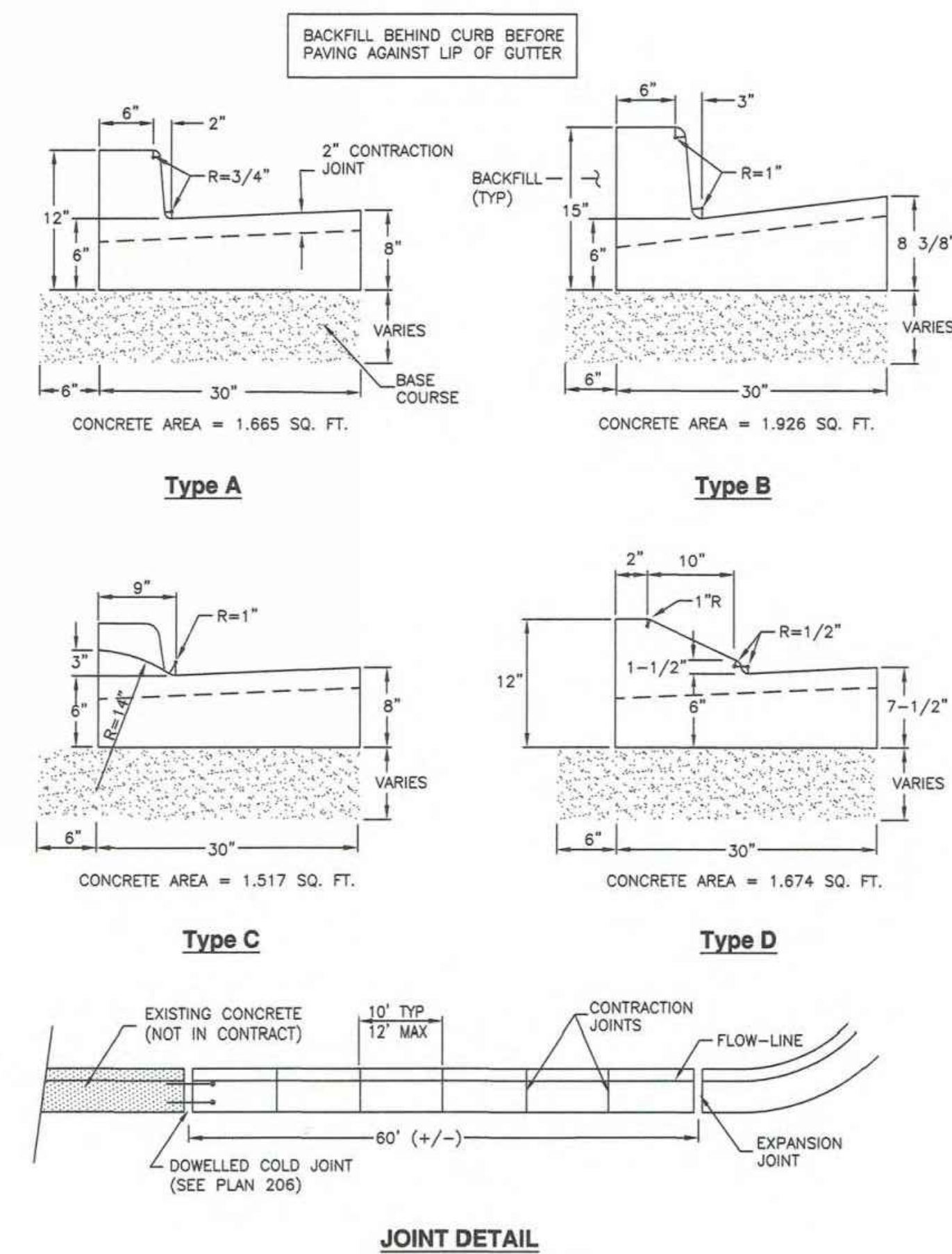


CONCRETE PLAZA WITH VEHICULAR LOADING
SCALE: N.T.S.



CONCRETE PLAZA WITH PEDESTRIAN LOADING
SCALE: N.T.S.

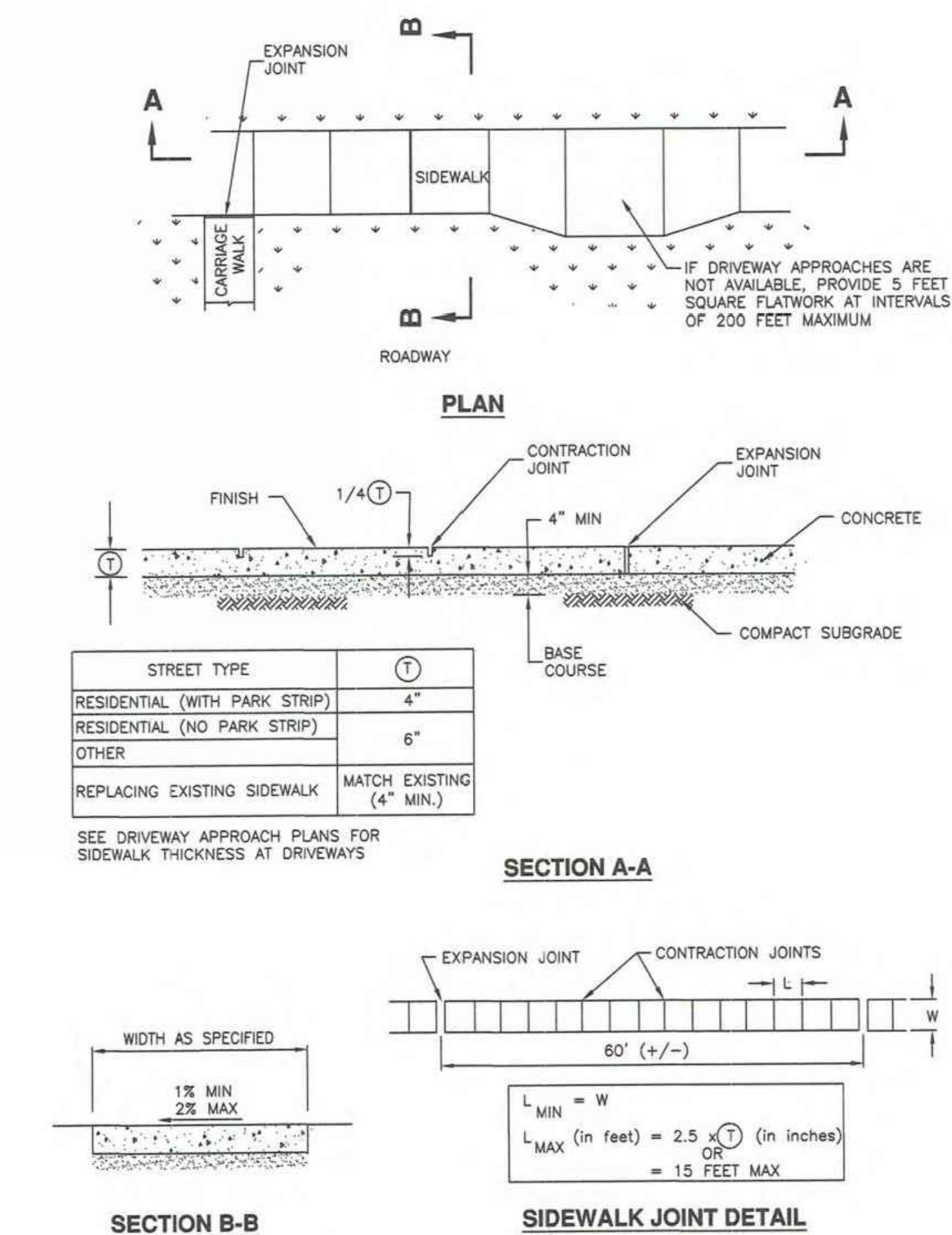
205.1



Curb and gutter

Plan
205.1
December 2008

231



Sidewalk

Plan
231
March 2009

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REV DATE DESCRIPTION

DETAILS

C700

ZONING ANALYSIS

PARCEL ZONE: GMLJ - GATEWAY MIXED USE
MINIMUM/MAXIMUM LOT SIZE/DIMENSIONS: NO STANDARD STIPULATED BY ZONE
SPECIFIC REQUIREMENTS
ACTUAL LOT SIZE: 2.16 ACRES (93,949 SQ. FT. PROPOSED CONSOLIDATED PARCEL)
BUILDING LOT COVERAGE: NO STANDARD STIPULATED BY ZONE SPECIFIC REQUIREMENTS
ACTUAL BUILDING COVERAGE: 53% COVERAGE (50,139 SQ FT / 93,949 SQ. FT.)
BUILDING HEIGHT REQUIREMENTS:
MINIMUM HEIGHT - 75'-0"
MAXIMUM HEIGHT - 180'-0"
SETBACK REQUIREMENTS:
MINIMUM - NONE
MAXIMUM - 10'-0" (FOR UP TO 30% OF FACADE)

GENERAL SITE PLAN NOTES

1. GRADING AT THE BUILDING SHALL HAVE A 5% MINIMUM SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF 10'-0". UNO. CONCRETE SHALL BE SLOPED 2% AWAY FROM BUILDING. IBC 2012 SECTION 1804.3
2. FOUNDATION TO BE 6" ABOVE FINISHED GRADE UNO. (8" FOR DFCM PROJECT, ALSO REVIEW IBC 2012 SECTION 1806)
3. ALL CONNECTIONS FROM CITY STREETS TO THE BUILDING ARE TO BE PROVIDED UNDER THIS CONTRACT. CONTRACTOR TO VERIFY CITY STANDARDS FOR ROAD, CURB, UTILITY AND SIGNAGE REQUIREMENTS.
4. ALL EXTERIOR SIDEWALKS, STAIRS AND LANDINGS TO HAVE POSITIVE DRAINAGE BUT NO MORE THAN A MAXIMUM OF 1/4" SLOPE PER FOOT TO ALLOW POSITIVE DRAINAGE. ALL STAIRS AND RAMP TO HAVE A LANDING OF 48 INCHES LONG AT THE TOP AND BOTTOM WITH A MAXIMUM SLOPE OF 1/4" PER FOOT. ALL REBAR IN EXTERIOR APPLICATIONS TO BE EPOXY COATED.
5. ALL HARDSCAPE TO BE A MINIMUM OF 4" THICK AIR ENTRAINED CONCRETE OVER 6" ROAD BASE, UNO. AND ALL SIDEWALKS SHALL BE NO LESS THAN 5'-0" WIDE.
6. FINISH GRADE OF SOFTSCAPE SHALL BE 2" UNIFORMLY BELOW PAVING SURFACES UNLESS NOTED OTHERWISE.
7. FINISH GRADE OF SOFTSCAPE SHALL BE 2" UNIFORMLY BELOW PAVING SURFACES UNLESS NOTED OTHERWISE.
8. 12" X 4" X CONTINUOUS MINIMUM CONCRETE MOW STRIP. TO BE PROVIDED AROUND ENTIRE BUILDING EXCEPT WHERE CONCRETE SIDEWALKS OR PLANTERS OCCUR. TYP. SEE DETAIL XX/AXXX.
9. LIGHT POLE BASE IN ALL LANDSCAPE LOCATIONS TO BE 6" ABOVE FINISHED GRADE. BE LOCATED AT LEAST 36" FROM FACE OF POLE BASE TO BACK OF CURB AND HAVE A CONCRETE MOW STRIP PER DETAIL XX/AXXX. VERIFY LOCATION ON SITE WITH ARCHITECT PRIOR TO ANY INSTALLATION.
10. LIGHT POLE BASE IN ALL PAVED LOCATIONS TO BE 36" ABOVE FINISHED GRADE. VERIFY LOCATION ON SITE WITH ARCHITECT PRIOR TO ANY INSTALLATION.
11. REMOTE FDC TO HAVE VAULT FOR DRAINAGE. SEE DETAIL XX/ASXX.
12. COORDINATE ORIENTATION OF FIRE HYDRANT OUTLETS WITH THE FIRE MARSHALL'S OFFICE PRIOR TO THE FINAL INSTALLATION OF THE HYDRANT ASSEMBLY.

TREE PRESERVATION GUIDELINES + NOTES

1. STEEL WOVEN WIRE FENCES SHALL BE ERRECTED TO PROTECT TREES TO BE PRESERVED. FENCES DEFINE A SPECIFIC PROTECTION ZONE FOR EACH TREE OR GROUP OF TREES. FENCE TO BE AT A MINIMUM OF 20' FROM TRUNK OR AT DRIP LINE OF TREE. WHICHEVER IS GREATER. FENCES ARE TO REMAIN UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCES MAY NOT BE RELOCATED OR REMOVED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTING ARCHITECT.
2. INSIDE ALL PROTECTED TREE FENCE AREAS, CONTRACTOR TO PROVIDE WOOD CHIPS, MINIMUM 4" DEEP.
3. CONSTRUCTION TRAILERS AND TRAFFIC AND STORAGE AREAS MUST REMAIN OUTSIDE FENCED AREAS AT ALL TIMES.
4. ALL UNDERGROUND UTILITIES AND DRAIN OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE(S).
5. NO MATERIALS, EQUIPMENT, SPOIL OR WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED OR PARKED WITHIN THE TREE PROTECTION ZONE (FENCED AREA).
6. ADDITIONAL TREE PRUNING REQUIRED FOR CLEARANCE OR TREE HEALTH DURING CONSTRUCTION MUST BE PERFORMED BY A QUALIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
7. ANY HERBICIDES PLACED UNDER PAVING MATERIALS MUST BE SAFE FOR USE AROUND TREES AND LABELED FOR THAT USE. ANY PESTICIDES USED ON SITE MUST BE TREE-SAFE AND NOT EASILY WASHED OFF SITE, CAUSING POLLUTION.
8. IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE CONSULTING ARBORIST OR LANDSCAPE ARCHITECT SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
9. ANY GRADING, CONSTRUCTION, DEMOLITION, OR OTHER WORK THAT IS EXPECTED TO ENCOUNTER TREE ROOTS MUST BE MONITORED BY THE CONSULTING ARBORIST/LANDSCAPE ARCHITECT. ALL TREES NOT BEING REMOVED AS INDICATED ON LANDSCAPE DEMOLITION PLAN SHALL BE PROTECTED / MONITORED.
10. IRRIGATION WATER TO THE TREES AND SHRUBS TO REMAIN SHOULD BE AT LEAST 1 INCH A WEEK DURING GROWING SEASON UNTIL PROJECT COMPLETION (MAY - OCT) THIS WILL BE APPLIED WITH SPRINKLERS EVENLY OVER THE WHOLE ROOT SYSTEM. TWICE A WEEK TWO DAYS APART WITH 1/2 INCH OF WATER DELIVERED EACH WATERING CYCLE.
11. EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS, BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND OR EROSION WITHIN THE TREE PROTECTION ZONE.
12. ANY ROOTS DAMAGED DURING GRADING, TRENCHING OR CONSTRUCTION SHALL BE EXPOSED TO SOUND TISSUE AND CUT CLEANLY WITH A SAW. CONTRACTOR SHALL HAVE A QUALIFIED ARBORIST OR LANDSCAPE ARCHITECT OBSERVE THIS WORK.
13. IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED, A ROADBED OF 6 INCHES OF COURSE WOOD CHIP MULCH SHALL BE CREATED TO PROTECT THE SOIL AND ROOTS. THE ROAD BED MATERIAL SHALL BE REPLISHED AS NECESSARY TO MAINTAIN A 6-INCH DEPTH. UNDER NO CIRCUMSTANCES SHALL SUCH ACCESS ROADS BE USED ON A FREQUENT BASIS.
14. SPOIL OR SUBSOIL FROM TRENCHES, BASEMENTS, OR OTHER EXCAVATIONS SHALL NOT BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY.
15. MONITORING ONCE A MONTH SHALL OCCUR NOW & THROUGH THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL HAVE A QUALIFIED ARBORIST FROM USU LOAM PERFORM THIS TASK.
16. A SOIL SAMPLE SHALL BE SENT TO USU SOILS LAB TO DETERMINE IF ANY NUTRIENTS CAN BE ADDED TO HELP RELIEVE SOME STRESS TO THE TREES.

KEY NOTES

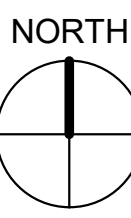
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|--------|--|
| 236.0 | PROPERTY BOUNDARY |
| 254.0 | EXTENT OF CONSTRUCTION FENCE |
| 1209.0 | BICYCLE RACKS |
| 3209.0 | LANDSCAPING BEDS TO BE INSTALLED WITH ORNAMENTAL WATER-WISE PLANTINGS AND PERENNIAL GRASS MIX. TYP. |
| 3211.0 | 6' TALL GLAZED WINDSCREEN SYSTEM. BASIS OF DESIGN CRL CIELO POST WINDSCREEN SYSTEM |
| 3212.0 | 6' TALL PERFORATED STEEL PANEL SWING GATE ON SELF-CLOSING HINGES WITH PANIC EGRESSING HARDWARE |
| 3214.0 | RAISED CONCRETE PLANTER |
| 3215.0 | CAST-IN-PLACE CONCRETE SITE STAIRS WITH STAINLESS STEEL PIPE HANDRAILS |
| 3216.0 | CURB CUT AND RAMPED PAVING TO PROVIDE ACCESS INTO HOLD STORAGE ROOM, REFER TO CIVIL DRAWINGS |
| 3217.0 | SEMI-EVERGREEN SHRUBS AND LANDSCAPING TO BE INSTALLED TO SCREEN UTILITY EQUIPMENT |
| 3218.0 | ELECTRICAL TRANSFORMER ON PAD AND VAULT, SEE ELECTRICAL DRAWINGS |
| 3219.0 | ELECTRICAL GEAR, SEE ELECTRICAL DRAWINGS |
| 3220.0 | ARTS CAMPUS PLAZA TO BE INSTALLED BY SLC AS PART OF RIO-GRANDE DISTRICT IMPROVEMENTS |
| 3221.0 | NEW MARKET STREET PUBLIC RIGHT OF WAY IMPROVEMENTS TO BE INSTALLED BY SLC AS PART OF RIO-GRANDE DISTRICT IMPROVEMENTS |
| 3223.0 | NEW 300 SOUTH FESTIVAL STREET PUBLIC RIGHT OF WAY IMPROVEMENTS TO BE INSTALLED BY SLC AS PART OF RIO-GRANDE DISTRICT IMPROVEMENTS |
| 3224.0 | EXTEND CONCRETE SIDEWALK PAVING UP TO EXTERIOR FOOTPRINT OF SALT LAKE MATTRESS BUILDING. SEE CIVIL DRAWINGS |
| 3225.0 | CONCRETE RAMP TO PROVIDE VEHICULAR ACCESS FOR ARTICULATING BOOM LIFT INTO PLAZA, SEE CIVIL DRAWINGS |
| 3226.0 | EXISTING 500 WEST STREET PAVING AND CURBS ALONG PUBLIC RIGHT OF WAY TO REMAIN EXCEPT AT EXISTING CURB CUTS TO BE REMOVED, PROTECT AND REPAIR REMAINDER OF FRONTAGE AS REQUIRED TO MEET CITY STANDARDS. REFER TO CIVIL DRAWINGS |
| 3227.0 | EXISTING PARKSTRIP LANDSCAPING ALONG 500 WEST FRONTAGE TO REMAIN, PATCH AND REPAIR AS REQUIRED AND MATCH ADJACENT LANDSCAPING AT AREAS REQUIRING INFILL FOR ANY REMOVED EXISTING CURB CUTS |
| 3228.0 | NEW WOODBINE COURT PUBLIC RIGHT OF WAY IMPROVEMENTS TO BE INSTALLED BY SLC AS PART OF RIO-GRANDE DISTRICT IMPROVEMENTS |
| 3231.0 | EXISTING STREET TREES ALONG 500 WEST TO REMAIN, PROTECT THROUGHOUT DURATION OF CONSTRUCTION |
| 3232.0 | NATURAL GRANITE BOULDER-BLOCK FRACTURED BENCH, SIZED TO BE MOVEABLE AS REQUIRED DURING EVENTS TYP. |
| 3233.0 | TAN COLORED AND ACID ETCH CONCRETE PAVEMENT |
| 3234.0 | CHARCOAL GRAY COLORED ACID ETCH CONCRETE PAVEMENT |
| 3235.0 | GRANITE PAVER, FLAMED FINISH. TYP. |
| 3236.0 | CHARCOAL BLACK CONCRETE STEP (OR SEAT BENCH RETAINING WALL WHERE OCCURS) |
| 3237.0 | IN-GRADE ILLUMINATED GLASS BLOCK PAVER. TYP. |
| 3238.0 | SELF-ILLUMINATED HUMAN FIGURATIVE SCULPTURES IN VARIOUS CLIMBING POSITIONS AFFIXED TO STAINLESS STEEL ARMATURE POSTS, TYP. |

300 SOUTH - FUTURE FESTIVAL STREET

FUTURE WOODBINE COURT

FUTURE MARKET ST

500 WEST



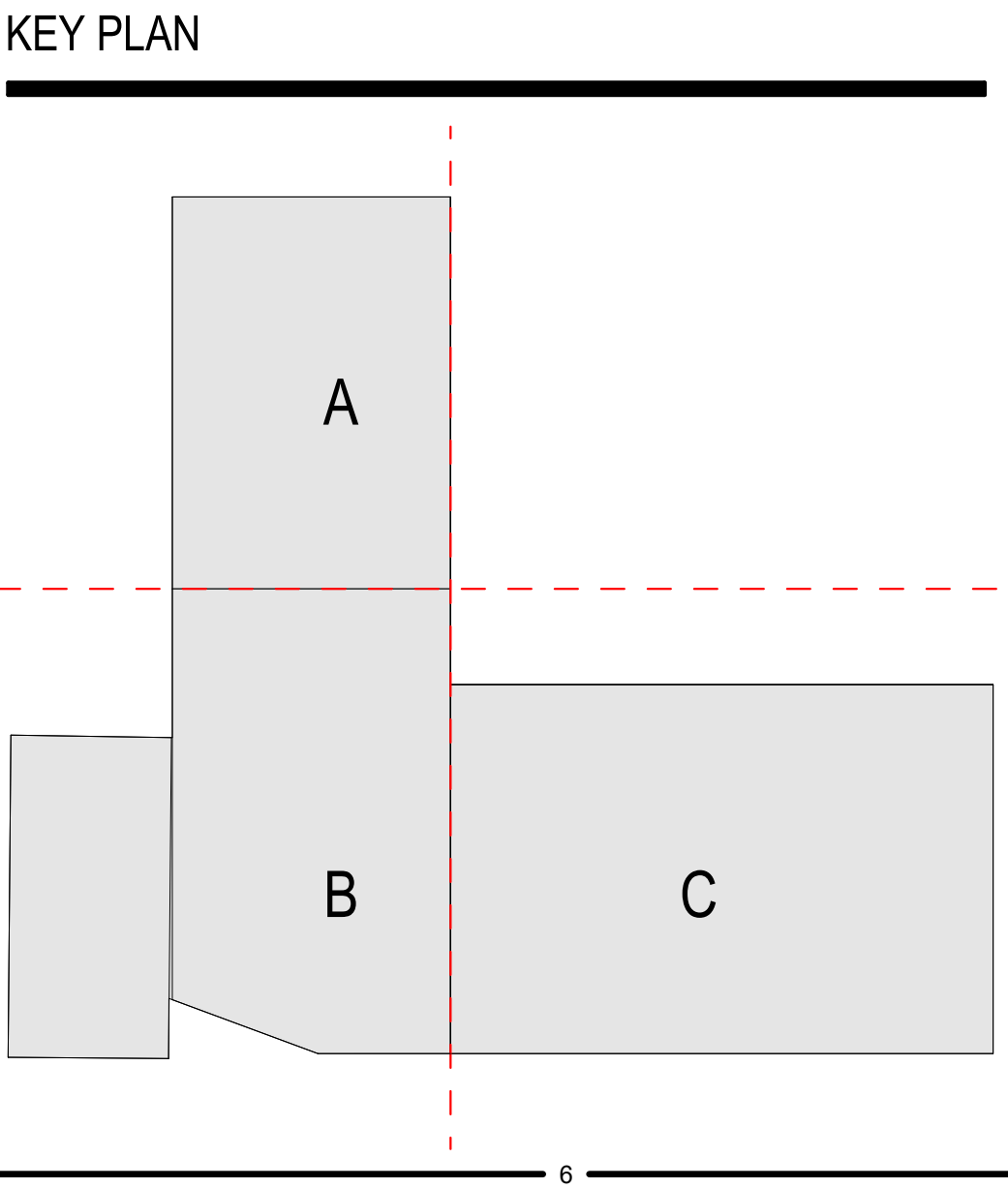


GROUND FLOOR USE LEGEND

AREAS CONTAINING ACTIVE USES
40,674 SQUARE FEET

AREAS NOT CONTAINING ACTIVE USES
9,466 SQUARE FEET

TOTAL FIRST FLOOR SQUARE FOOTAGE = 50,140 SQUARE FEET
PERCENTAGE OF ACTIVE USE = 40,674 SQ. FT./50,140 SQ. FT. = 81.1%



A1 OVERALL PLAN - LEVEL 01 DESIGN REVIEW

SCALE: 1/16" = 1'-0"



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VCBO NUMBER: 23310.00
DATE: JANUARY 22, 2026

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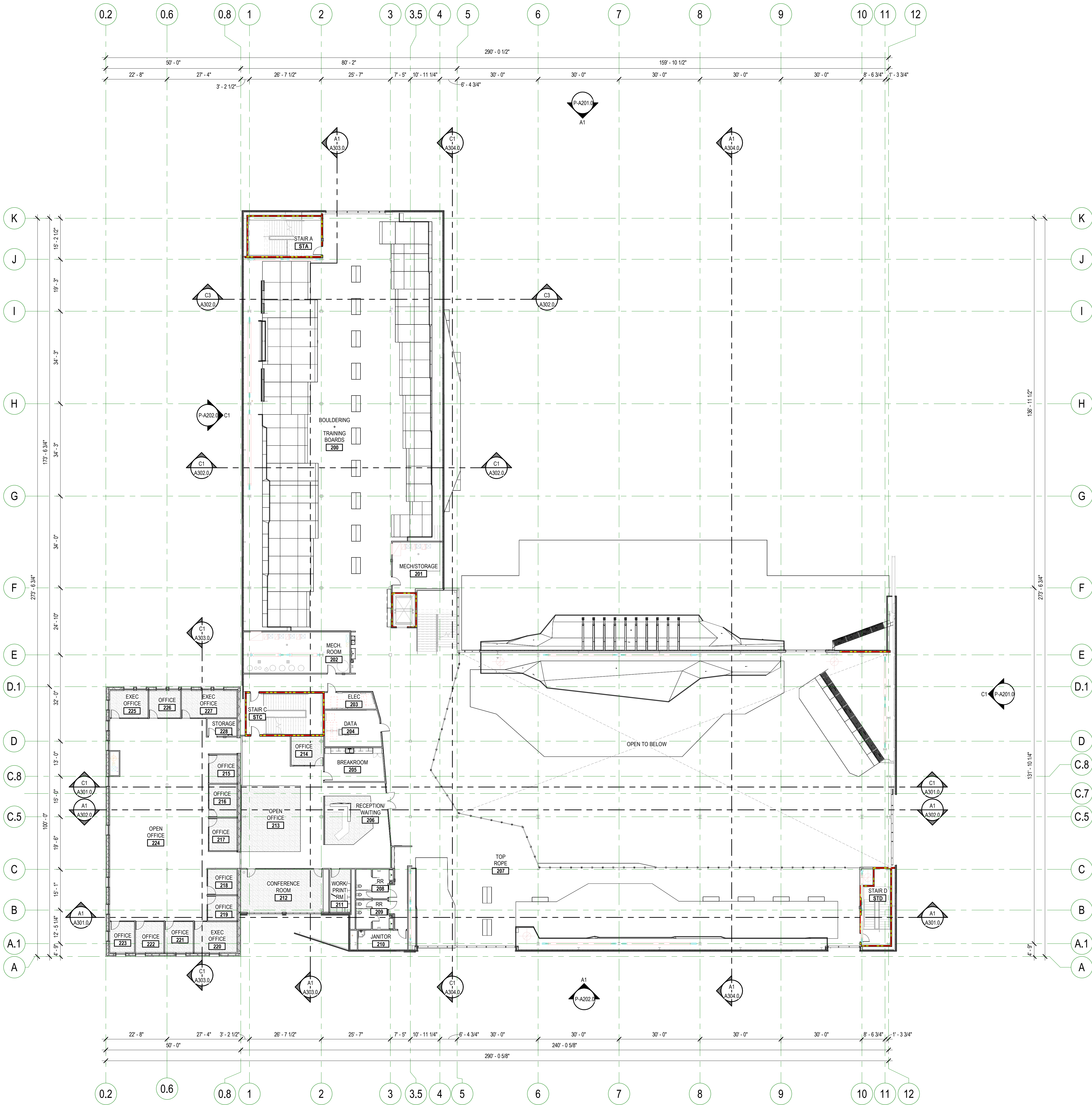
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DESIGN REVIEW

OVERALL PLAN - LEVEL 01

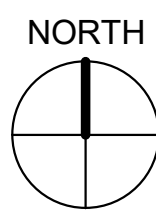
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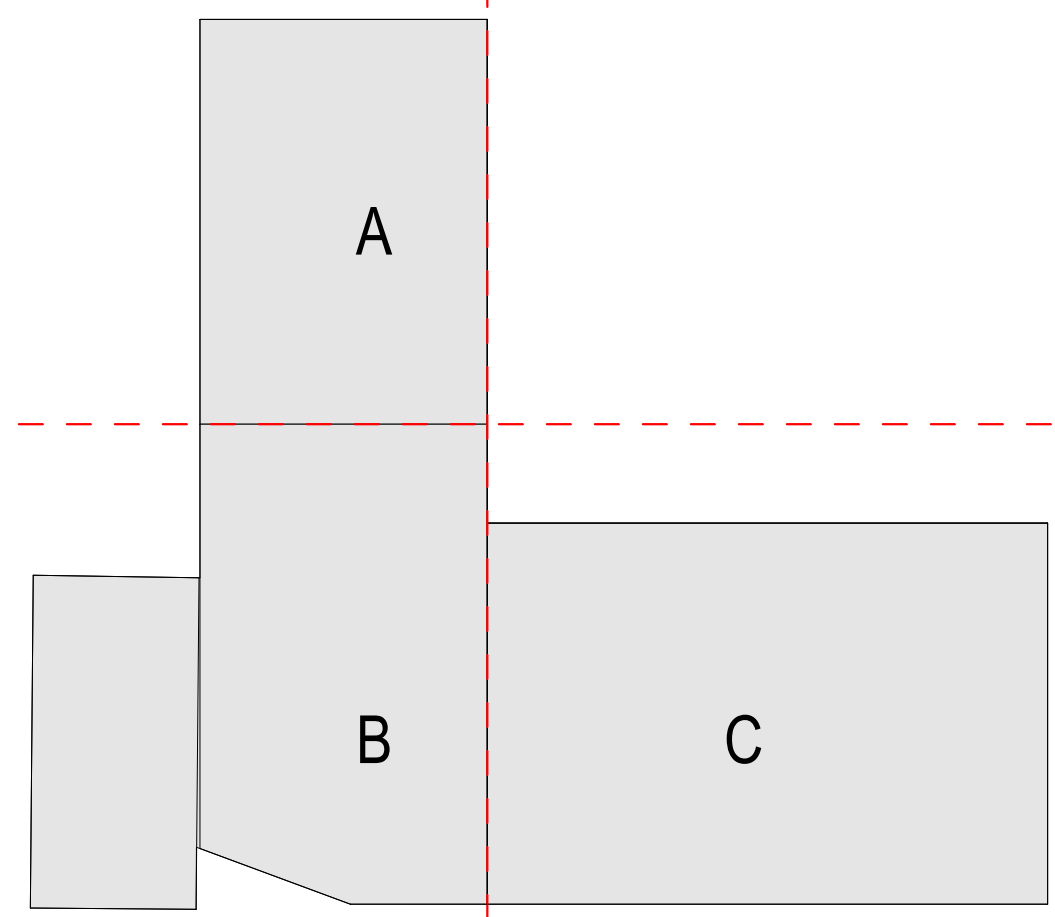


A1 OVERALL PLAN - LEVEL 02 - DESIGN REVIEW

SCALE: 1/16" = 1'-0"



KEY PLAN



USA CLIMBING NATIONAL TRAINING CENTER

535 W 300 S, SALT LAKE CITY, UT 84101

DESIGN REVIEW

OVERALL PLAN - LEVEL 02

P-A120.0

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VCBO

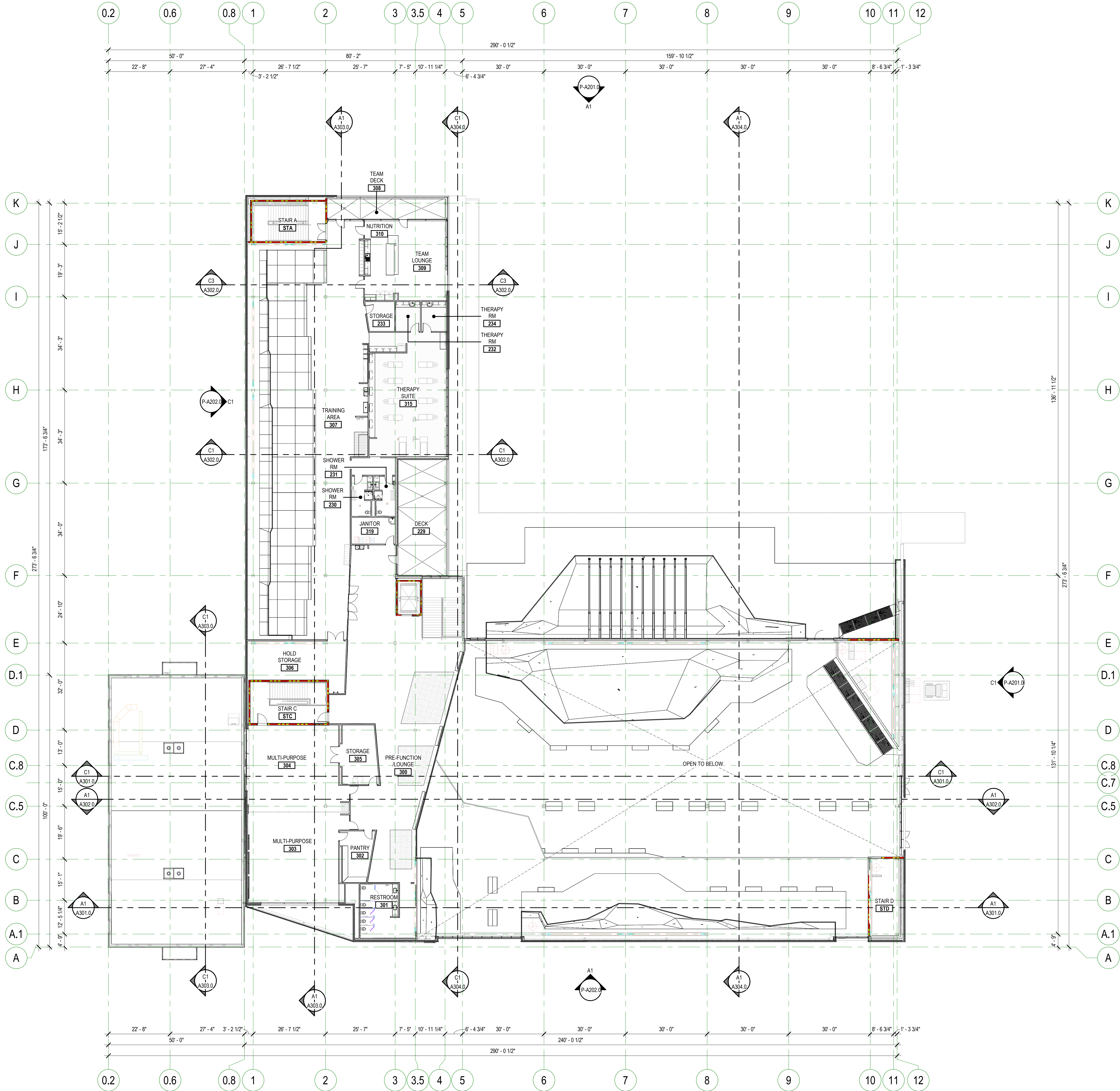
SALT LAKE CITY - HQ
524 SOUTH 600 EAST
SALT LAKE CITY, UT 84102
801.575.8800

ST. GEORGE
20 N. MAIN ST. #103
ST. GEORGE, UT 84770
435.522.7070

VCBO.COM

VCBO NUMBER: 23310.00
DATE: JANUARY 22, 2026

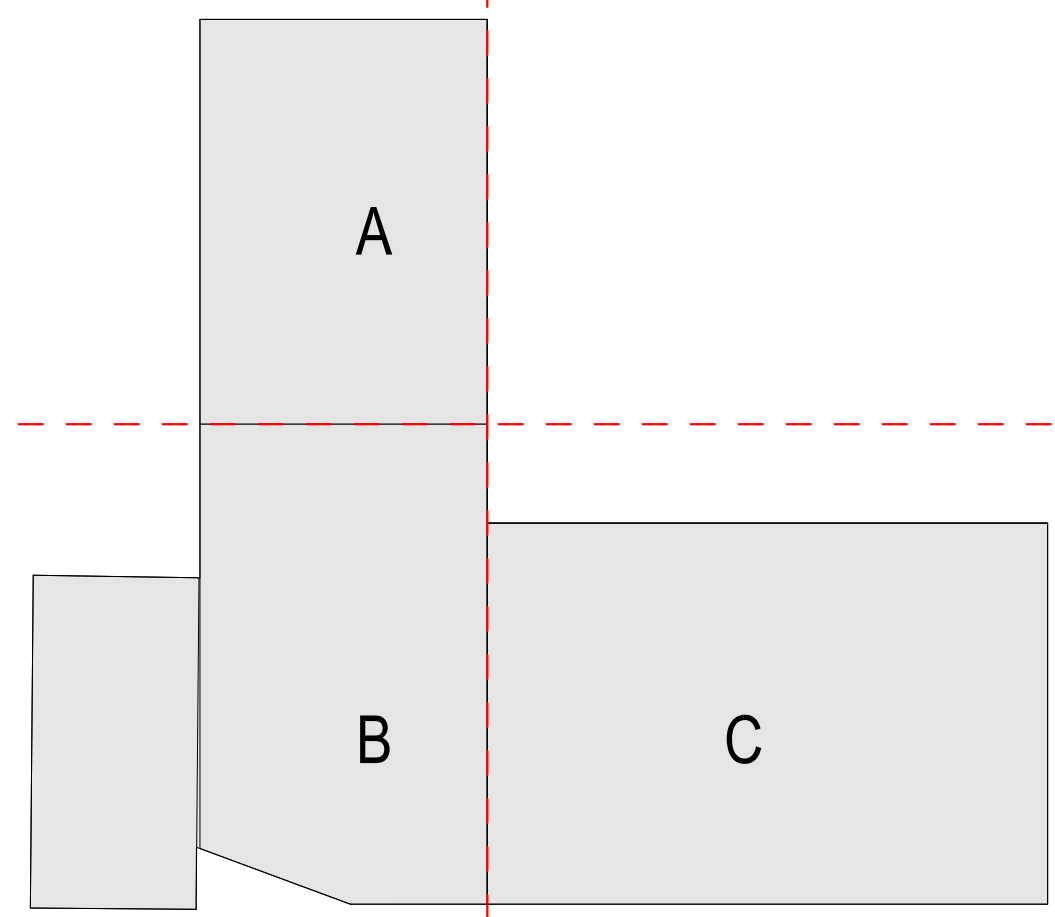
| REV | DATE | DESCRIPTION |
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A1 OVERALL PLAN - LEVEL 03 - DESIGN REVIEW

SCALE: 1/16" = 1'-0"

KEY PLAN



EXTERIOR FINISH SCHEDULE

SALT LAKE CITY MATTRESS BUILDING MASONRY & CONCRETE

SB1 SALVAGED BRICK ON MASONRY STRUCTURE

EXPPOSED CONCRETE

AC1 EXPOSED CONCRETE - PROVIDE ARCHITECTURAL GRADE FINISH

PRECAST CONCRETE PANEL SYSTEM

PC1 REINFORCED CONCRETE PANEL SYSTEM, SANDWICHED WITH RIGID INSULATION - REFER TO PANEL ELEVATIONS AND WALL TYPES; CUSTOM PATTERN CAST IN - PATTERN TBD

METAL PANEL

MT1 REPEATING CUSTOM PATTERN OF METAL PANELS; MORIN MX-1 AND MORIN MX-3; PATTERN SPECIFIED IN DETAIL A513/C3 (COLORS IN DETAIL FOR REFERENCE ONLY); DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; PANELS PAINTED, COLOR TBD

MT2 METAL PANEL MORIN MX-1; DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; PANELS PAINTED, COLOR TBD

MT3 PERFORATED METAL PANEL MORIN MX-1; DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; CALLED OUT AS RED/PINK ON ELEVATIONS (COLOR FOR REFERENCE ONLY); PANELS PAINTED, COLOR TBD

WINDOW TYPES

<###> SEE SHEET A601

KEYED NOTES

722.0 KARRIER PANEL SYSTEM, INSULATED, MORIN OR SIMILAR METAL PANEL FINISH
802.0 STOREFRONT SYSTEM
803.0 CURTAINWALL SYSTEM
1322.0 CLIMBING WALL, N.I.C.
3211.0 6" TALL GLAZED WINDSCREEN SYSTEM, BASIS OF DESIGN CRL CIELO POST WINDSCREEN SYSTEM

DURABLE MATERIALS & GLASS LEGEND

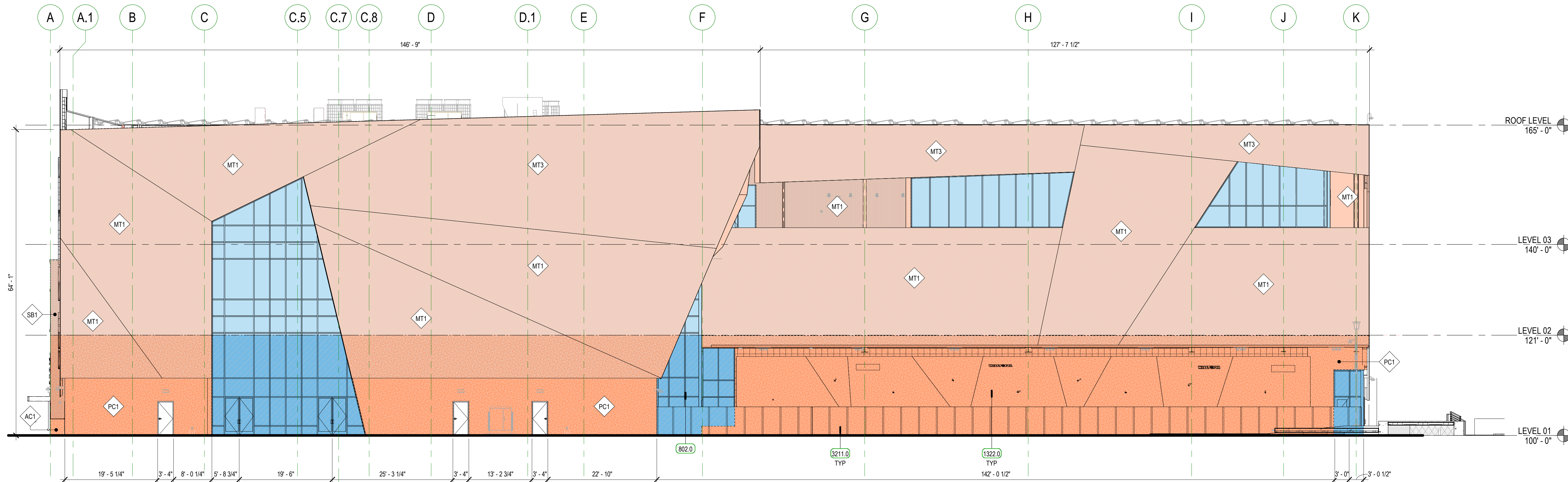
- AREA OF DURABLE MATERIALS ON GROUND LEVEL OF EACH ELEVATION
NOTE: ALL MATERIALS (CONCRETE, METAL, PANEL, RE-INSTALLED/RESTORED MASONRY, AND WOOD CLIMBING WALLS MEET THE REQUIREMENTS OF ORDINANCE SO PERCENTAGE OF DURABLE MATERIALS IS 100%
- AREA OF DURABLE MATERIALS ON UPPER LEVELS OF EACH ELEVATION
NOTE: ALL MATERIALS (CONCRETE, METAL, PANEL, RE-INSTALLED/RESTORED MASONRY, AND WOOD CLIMBING WALLS MEET THE REQUIREMENTS OF ORDINANCE SO PERCENTAGE OF DURABLE MATERIALS IS 100%
- GROUND LEVEL GLAZED AREAS - REFER TO TABLE BELOW FOR AREA AND PERCENTAGES ON EACH ELEVATION.
- UPPER LEVEL GLAZED AREAS - REFER TO TABLE BELOW FOR AREA AND PERCENTAGES ON EACH ELEVATION.

GROUND LEVEL GLASS PERCENTAGE ANALYSIS
GMU DESIGN STANDARD REQUIREMENT - 60%

NORTH ELEVATION - 1,339 SQ. FT. OF GLAZING/6,144 SQ. FT. OF WALL AREA = 21.8%
EAST ELEVATION - 996 SQ. FT. OF GLAZING/6,701 SQ. FT. OF WALL AREA = 17.5%
SOUTH ELEVATION - 1,375 SQ. FT. OF GLAZING/5,978 SQ. FT. OF WALL AREA = 23.0%
WEST ELEVATION - 959 SQ. FT. OF GLAZING/6,698 SQ. FT. OF WALL AREA = 18.9%

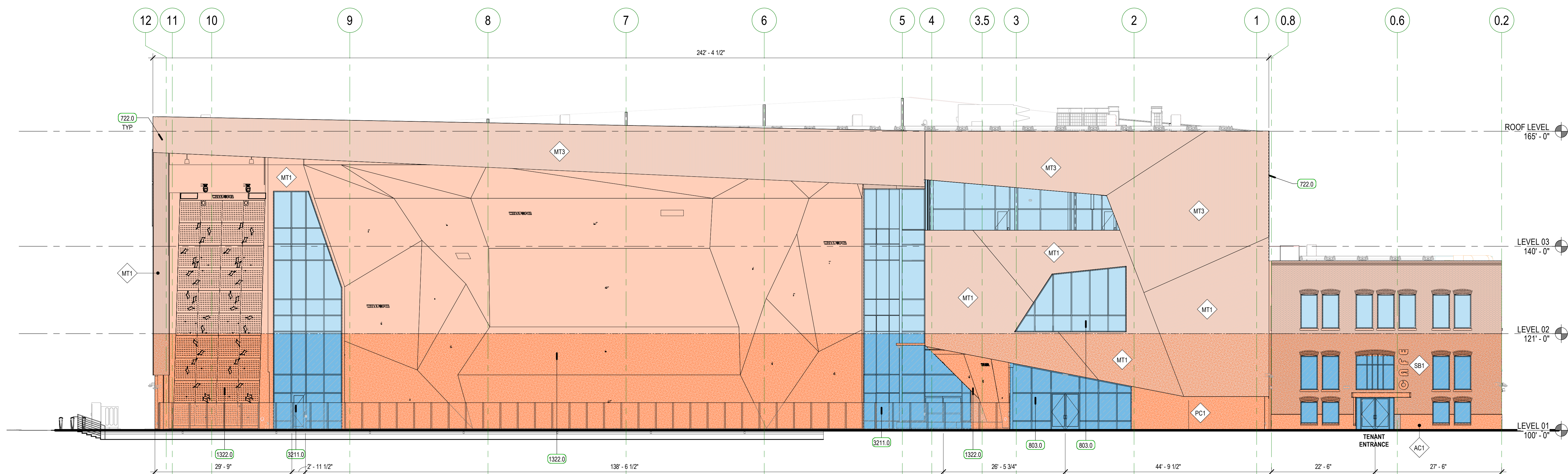
UPPER LEVEL GLASS PERCENTAGE ANALYSIS
GMU DESIGN STANDARD REQUIREMENT - 40%

NORTH ELEVATION - 1,640 SQ. FT. OF GLAZING/11,744 SQ. FT. OF WALL AREA = 14.0%
EAST ELEVATION - 1,411 SQ. FT. OF GLAZING/12,292 SQ. FT. OF WALL AREA = 11.5%
SOUTH ELEVATION - 2,082 SQ. FT. OF GLAZING/12,281 SQ. FT. OF WALL AREA = 17.0%
WEST ELEVATION - 533 SQ. FT. OF GLAZING/12,142 SQ. FT. OF WALL AREA = 4.4%



C1 EXTERIOR ELEVATION - EAST -DESIGN REVIEW

SCALE: 3/32" = 1'-0"



A1 EXTERIOR ELEVATION - NORTH -DESIGN REVIEW

SCALE: 3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE

SALT LAKE CITY MATTRESS BUILDING MASONRY & CONCRETE

(SB1) SALVAGED BRICK ON MASONRY STRUCTURE

EXPOSED CONCRETE

(AC1) EXPOSED CONCRETE - PROVIDE ARCHITECTURAL GRADE FINISH

PRECAST CONCRETE PANEL SYSTEM

(PC1) REINFORCED CONCRETE PANEL SYSTEM, SANDWICHED WITH RIGID INSULATION - REFER TO PANEL ELEVATIONS AND WALL TYPES; CUSTOM PATTERN CAST IN - PATTERN TBD

METAL PANEL

(MT1) REPEATING CUSTOM PATTERN OF METAL PANELS; MORIN MX-1 AND MORIN MX-3; PATTERN SPECIFIED IN DETAIL A513/C3 (COLORS IN DETAIL FOR REFERENCE ONLY); DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; PANELS PAINTED, COLOR TBD

(MT2) METAL PANEL MORIN MX-1; DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; PANELS PAINTED, COLOR TBD

(MT3) PERFORATED METAL PANEL MORIN MX-1; DIMENSIONS AND ANGLES OF PANELS CALLED OUT ON ELEVATIONS; CALLED OUT AS RED/PINK ON ELEVATIONS (COLOR FOR REFERENCE ONLY); PANELS PAINTED, COLOR TBD

WINDOW TYPES

(###) SEE SHEET A601

KEYED NOTES

1209.0 BICYCLE RACKS

DURABLE MATERIALS & GLASS LEGEND

AREA OF DURABLE MATERIALS ON GROUND LEVEL OF EACH ELEVATION
*NOTE: ALL MATERIALS (CONCRETE, METAL, PANEL, RE-INSTALLED/RESTORED MASONRY, AND WOOD CLIMBING WALLS MEET THE REQUIREMENTS OF ORDINANCE SO PERCENTAGE OF DURABLE MATERIALS IS 100%

AREA OF DURABLE MATERIALS ON UPPER LEVELS OF EACH ELEVATION
*NOTE: ALL MATERIALS (CONCRETE, METAL, PANEL, RE-INSTALLED/RESTORED MASONRY, AND WOOD CLIMBING WALLS MEET THE REQUIREMENTS OF ORDINANCE SO PERCENTAGE OF DURABLE MATERIALS IS 100%

GROUND LEVEL GLAZED AREAS - REFER TO TABLE BELOW FOR AREA AND PERCENTAGES ON EACH ELEVATION.

UPPER LEVEL GLAZED AREAS - REFER TO TABLE BELOW FOR AREA AND PERCENTAGES ON EACH ELEVATION.

GROUND LEVEL GLASS PERCENTAGE ANALYSIS

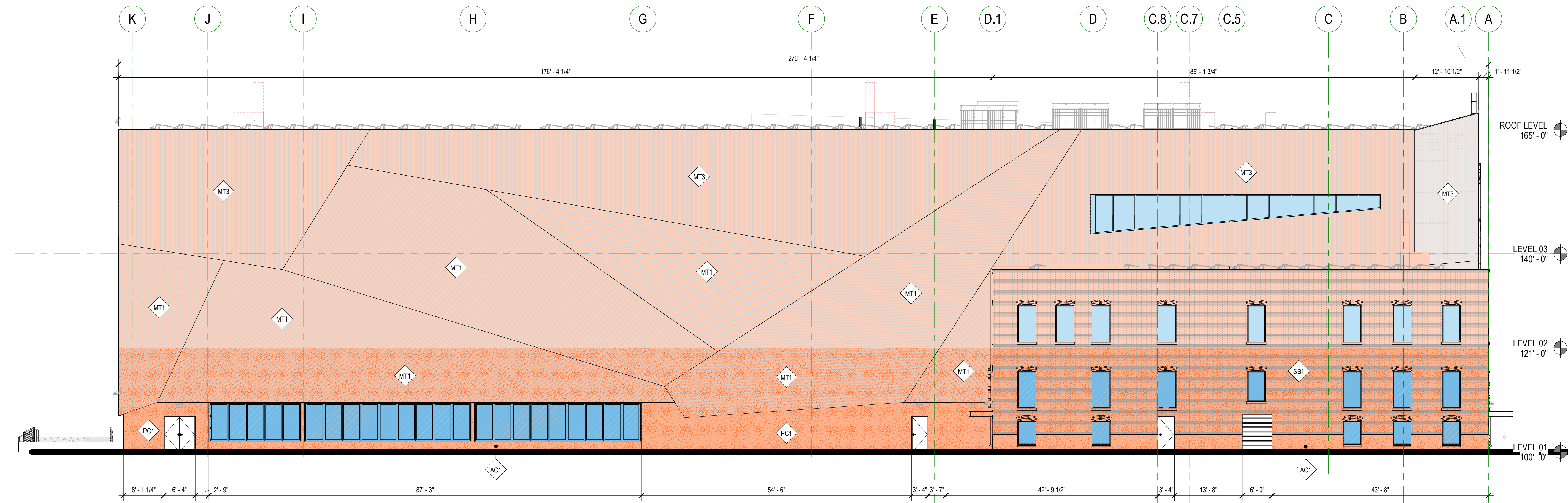
GMU DESIGN STANDARD REQUIREMENT - 60%

NORTH ELEVATION - 1,339 SQ. FT. OF GLAZING/6,144 SQ. FT. OF WALL AREA = 21.8%
EAST ELEVATION - 996 SQ. FT. OF GLAZING/5,701 SQ. FT. OF WALL AREA = 17.5%
SOUTH ELEVATION - 1,515 SQ. FT. OF GLAZING/5,918 SQ. FT. OF WALL AREA = 25.6%
WEST ELEVATION - 959 SQ. FT. OF GLAZING/5,658 SQ. FT. OF WALL AREA = 16.9%

UPPER LEVEL GLASS PERCENTAGE ANALYSIS

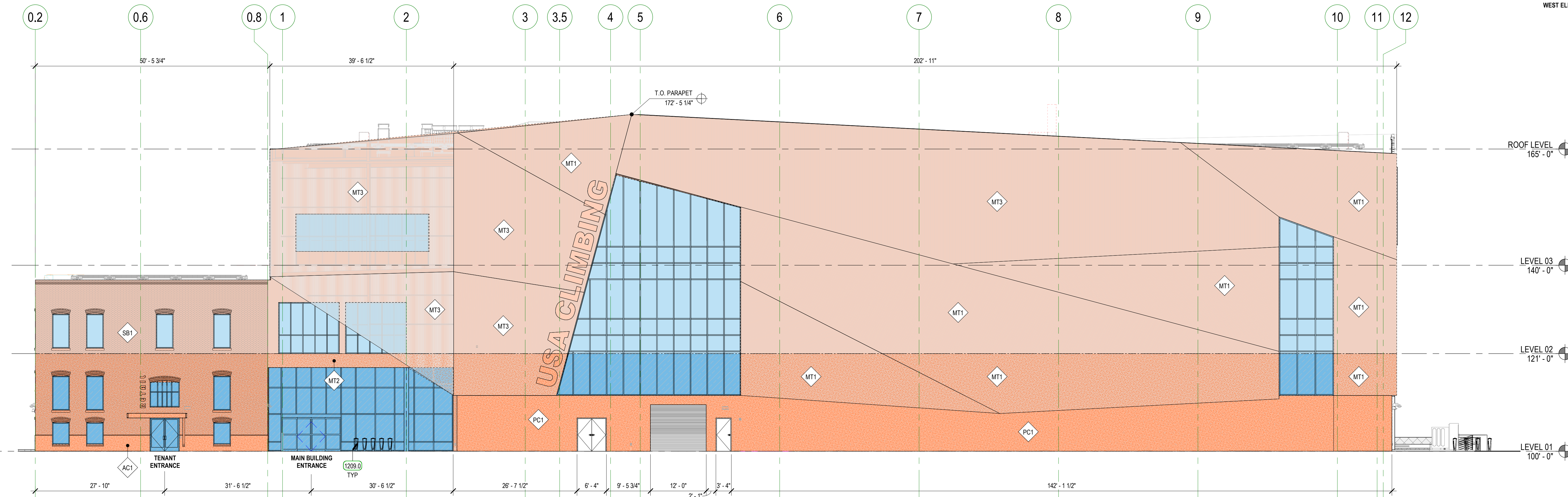
GMU DESIGN STANDARD REQUIREMENT - 40%

NORTH ELEVATION - 1,640 SQ. FT. OF GLAZING/11,744 SQ. FT. OF WALL AREA = 14.0%
EAST ELEVATION - 1,411 SQ. FT. OF GLAZING/12,282 SQ. FT. OF WALL AREA = 11.5%
SOUTH ELEVATION - 2,082 SQ. FT. OF GLAZING/12,281 SQ. FT. OF WALL AREA = 17.0%
WEST ELEVATION - 533 SQ. FT. OF GLAZING/12,142 SQ. FT. OF WALL AREA = 4.4%



C1 EXTERIOR ELEVATION - WEST - DESIGN REVIEW

SCALE: 3/32" = 1'-0"

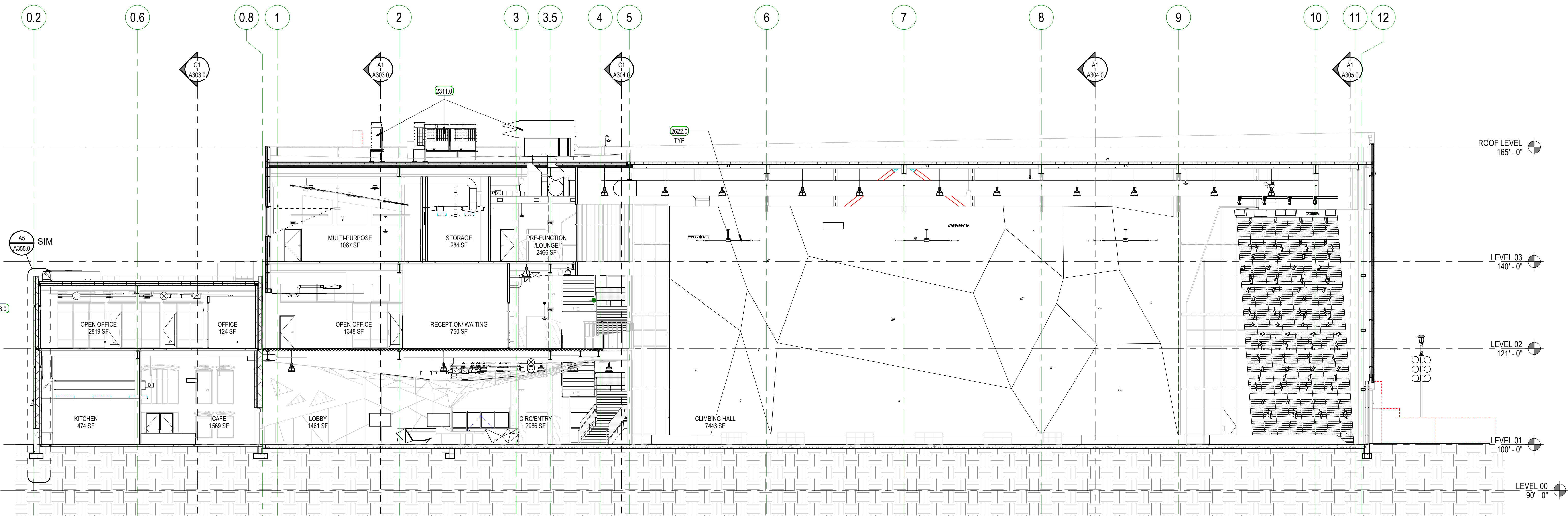


A1 EXTERIOR ELEVATION - SOUTH - DESIGN REVIEW

SCALE: 3/32" = 1'-0"

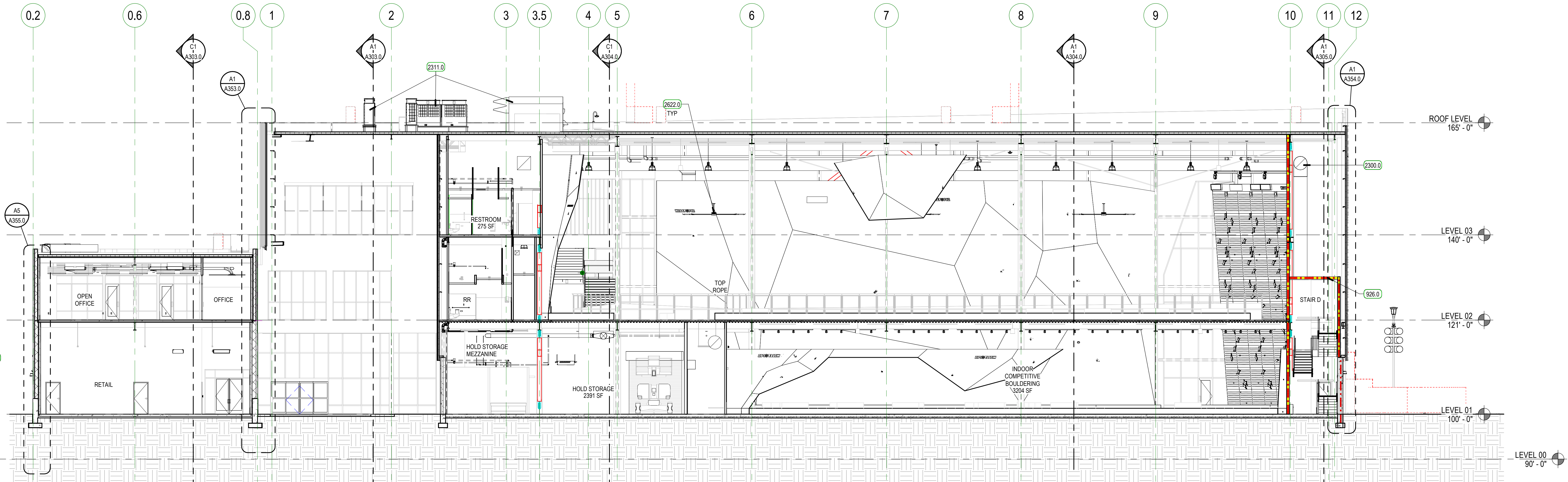
KEYED NOTES

| | |
|--------|--|
| 528.0 | BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED |
| 926.0 | 1-HOUR FIRE-RATED METAL STUD FRAMED GYPSUM BOARD PROTECTED CEILING ASSEMBLY PER UL DESIGN NO. 1599 |
| 2300.0 | MECHANICAL DUCT, PAINTED WHERE EXPOSED |
| 2311.0 | MECHANICAL ROOFTOP UNIT |
| 2622.0 | LARGE OVERHEAD FAN |



C1 BUILDING SECTION - EW 2

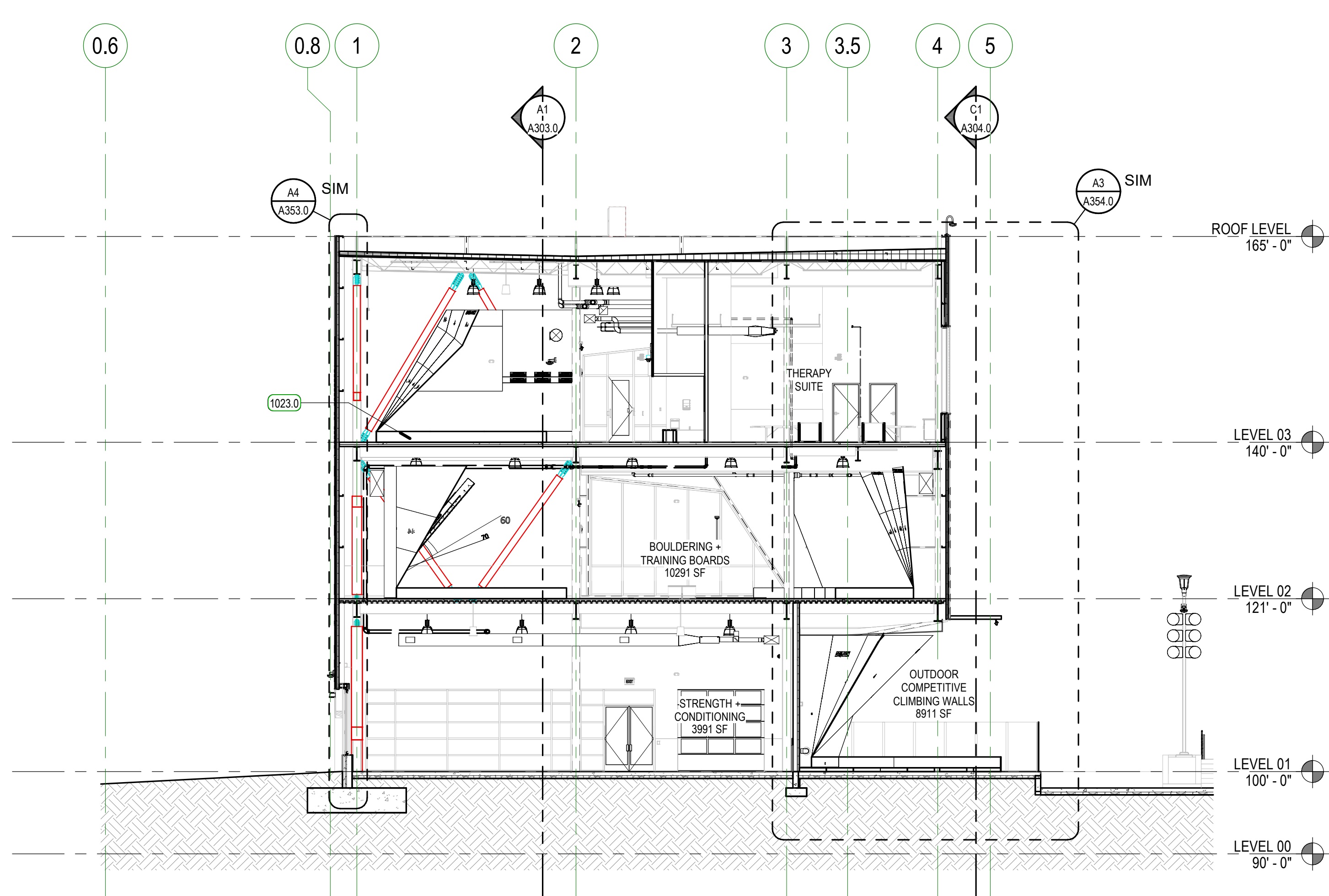
SCALE: 3/32" = 1'-0"



A1 BUILDING SECTION - EW 1

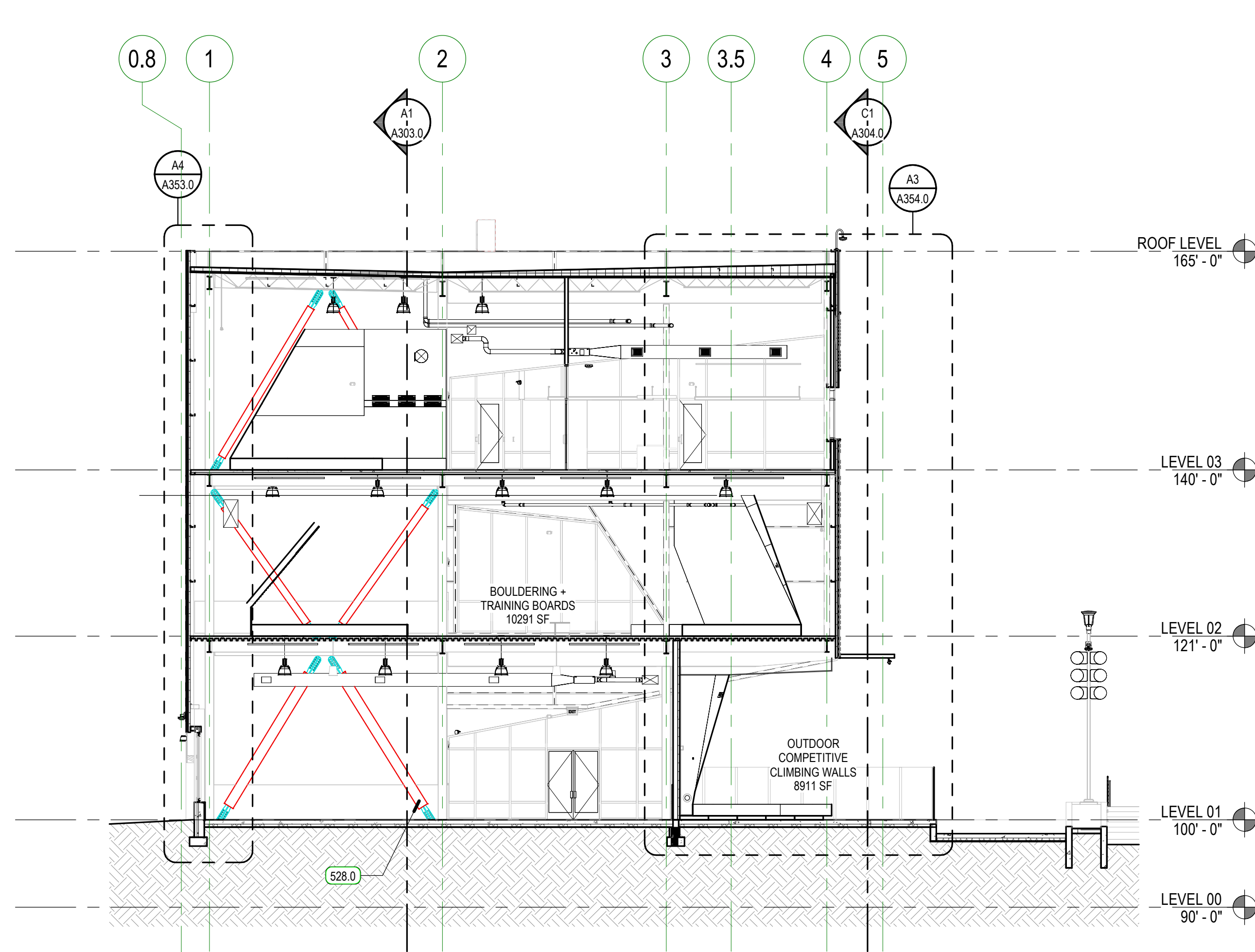
SCALE: 3/32" = 1'-0"

1 2 3 4 5 6



C1 BUILDING SECTION - EW 3

SCALE: 3/32" = 1'-0"

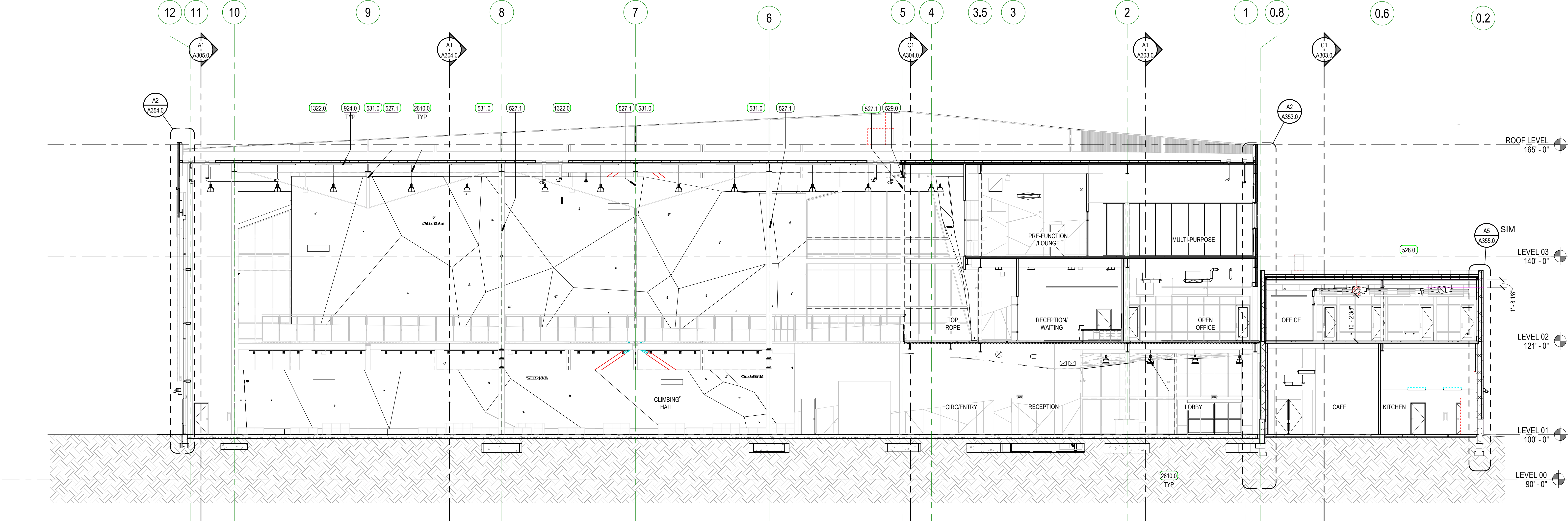


C3 BUILDING SECTION - EW 4

SCALE: 3/32" = 1'-0"

KEYED NOTES

- 527.1 STEEL COLUMN, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
- 528.0 BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
- 528.0 STEEL BEAM, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
- 531.0 STEEL TRUSS, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
- 924.0 SCHEDULED TECTUM CEILING PANEL
- 1023.0 CLIMBING MAT, N.I.C.
- 1322.0 CLIMBING WALL, N.I.C.
- 2610.0 LIGHT FIXTURE



A1 BUILDING SECTION - EW 5

SCALE: 3/32" = 1'-0"

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ST. GEORGE, UT 84770
435.522.7070
VCBO.COM
VCBO NUMBER: 23310.00
DATE: JANUARY 22, 2026

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

USA CLIMBING NATIONAL TRAINING CENTER

535 W 300 S, SALT LAKE CITY, UT 84101

DESIGN REVIEW

BUILDING SECTIONS

A302.0

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KEYED NOTES

- 528.0 BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
924.0 SCHEDULED TECTUM CEILING PANEL
926.0 1-HOUR FIRE-RATED METAL STUD FRAMED GYPSUM BOARD PROTECTED CEILING ASSEMBLY PER U.L. DESIGN NO. 1259
2311.0 MECHANICAL ROOFTOP UNIT
2610.0 LIGHT FIXTURE

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435.522.7070

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VCBO NUMBER: 23310.00
DATE: JANUARY 22, 2026

REV DATE DESCRIPTION

USA CLIMBING NATIONAL TRAINING CENTER

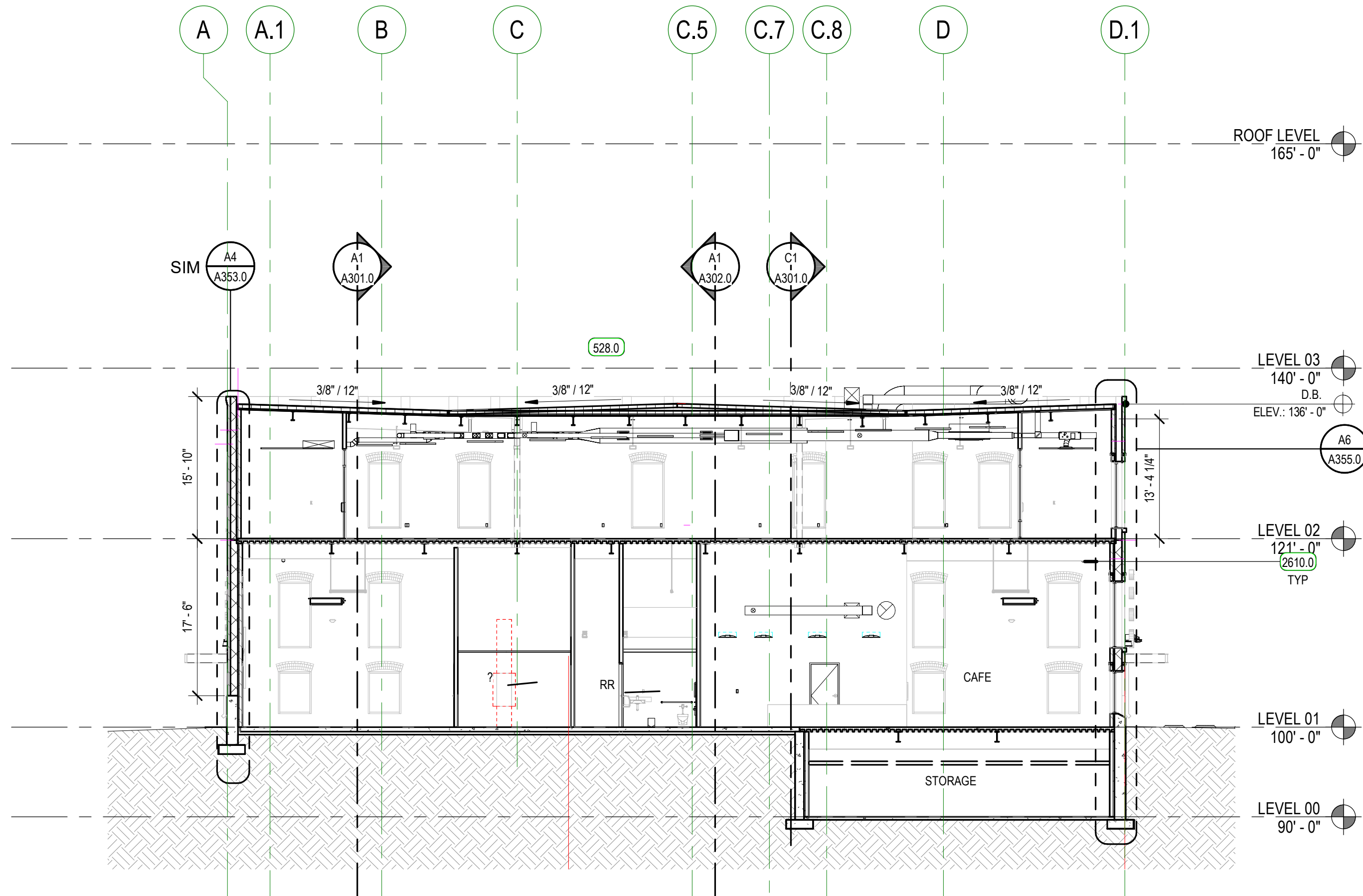
535 W 300 S, SALT LAKE CITY, UT 84101

DESIGN REVIEW

BUILDING SECTIONS

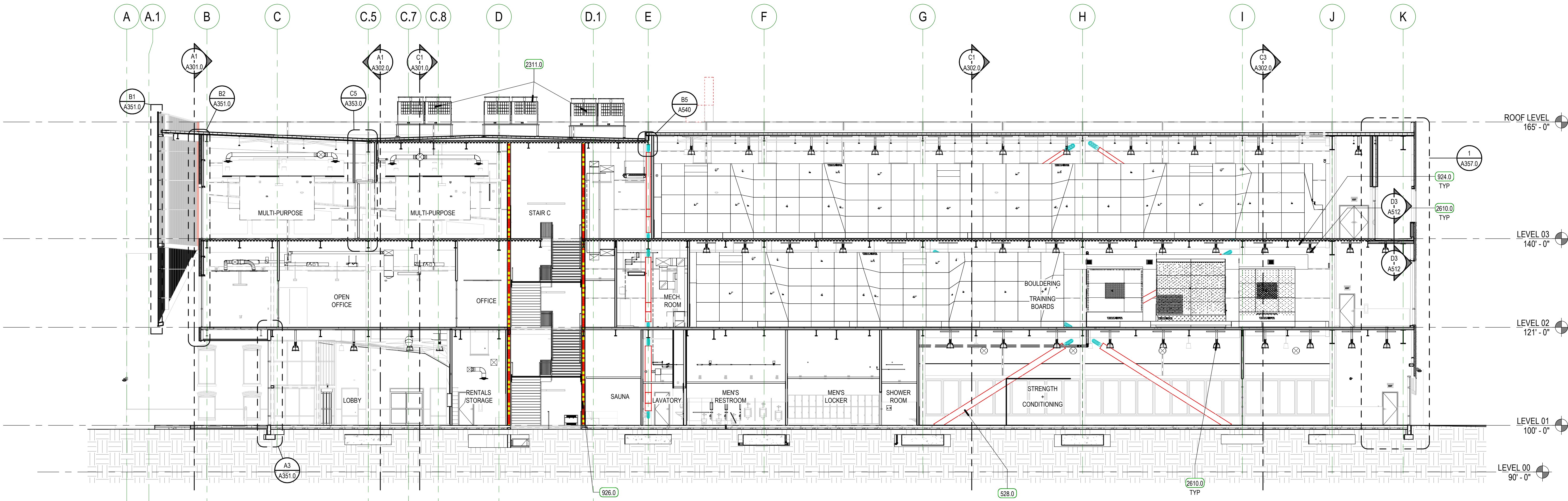
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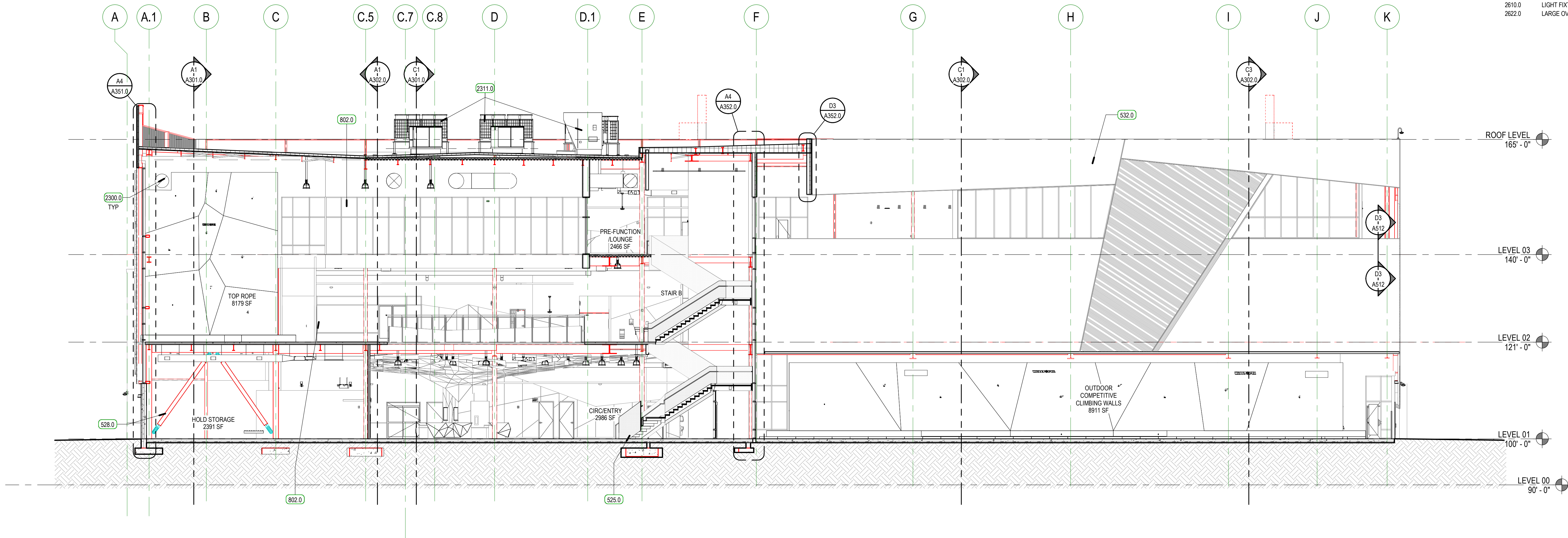
C1 BUILDING SECTION - NS 1

SCALE: 3/32" = 1'-0"



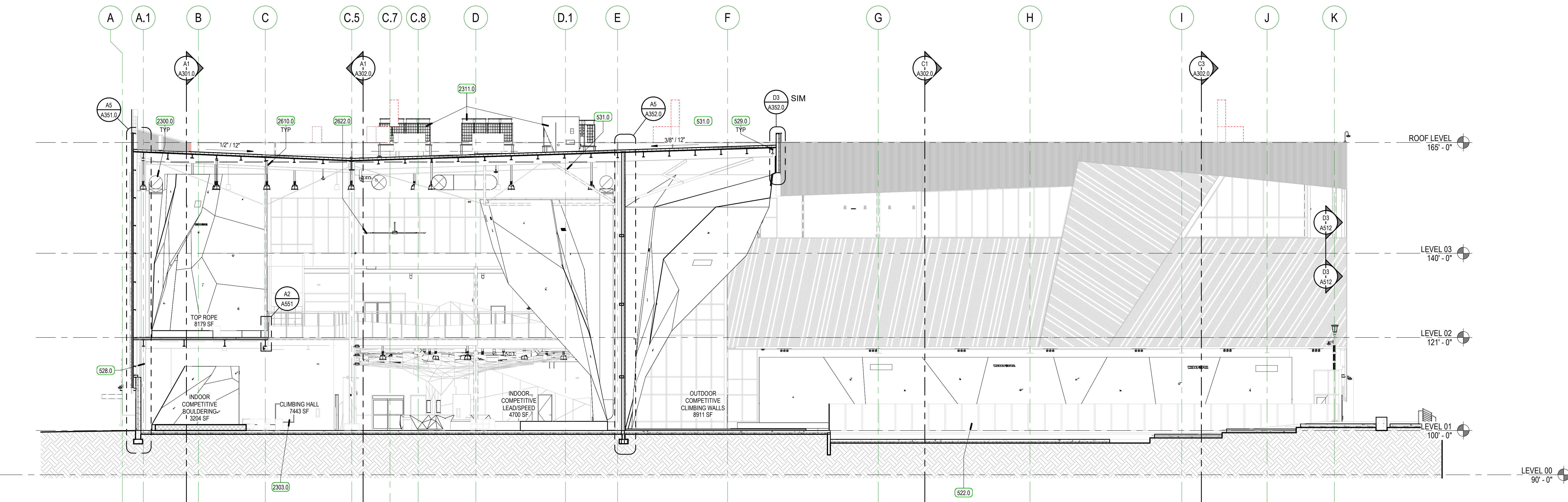
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SCALE: 3/32" = 1'-0"



C1 BUILDING SECTION - NS 3

SCALE: 3/32" = 1'-0"



A1 BUILDING SECTION - NS 4

SCALE: 3/32" = 1'-0"

KEYED NOTES

- 522.0 42" GUARDRAIL, REMOVEABLE SECTIONS FOR HOLDS
- 525.0 CUSTOM STEEL PERFORATED PANEL GUARDRAIL, VERTICAL AND TOP STEEL SUPPORTS
- 528.0 BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
- 529.0 STEEL BEAM, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
- 531.0 STEEL TRUSS, 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED
- 532.0 METAL PANEL FACADE SYSTEM
- 802.0 STOREFRONT SYSTEM
- 2300.0 MECHANICAL DUCT, PAINTED WHERE EXPOSED
- 2303.0 MECHANICAL GRILLE, PAINTED WHERE EXPOSED
- 2311.0 MECHANICAL ROOFTOP UNIT
- 2610.0 LIGHT FIXTURE
- 2622.0 LARGE OVERHEAD FAN

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DESIGN REVIEW

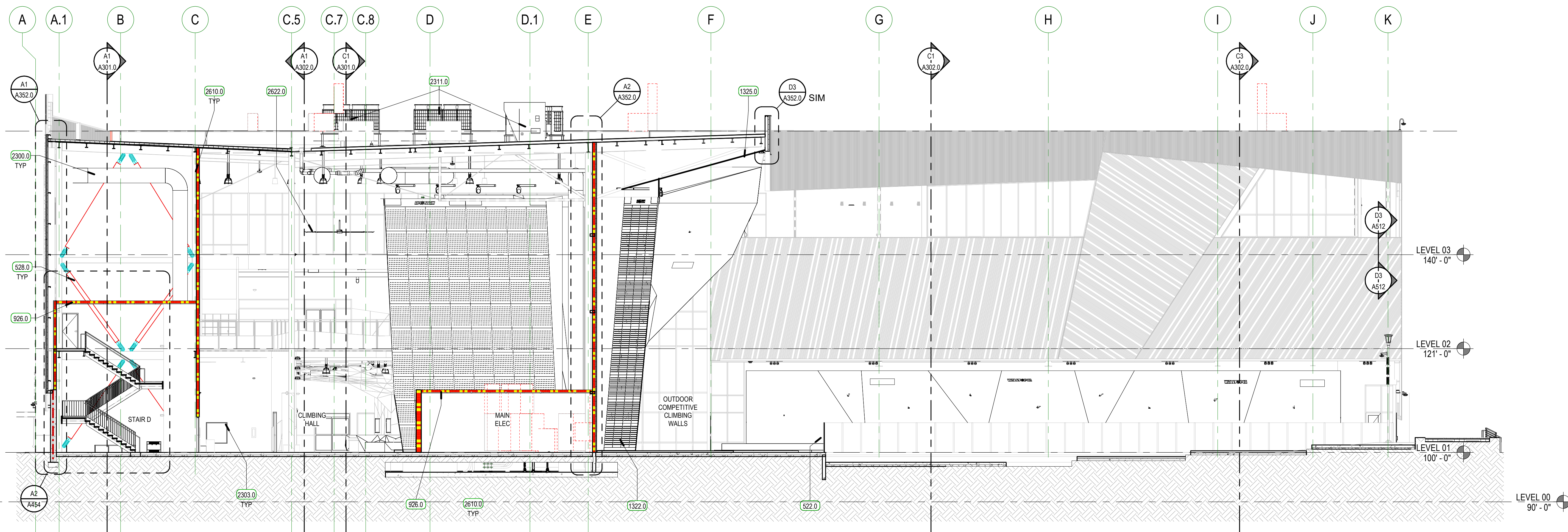
BUILDING SECTIONS

A304.0

1/22/2026 5:04:52 PM

KEYED NOTES

| | |
|--------|--|
| 522.0 | 42" GUARDRAIL, REMOVEABLE SECTIONS FOR HOLDS |
| 528.0 | BUCKLING RESTRAINED BRACE (BRB), 1-HR FIRE RATING, PAINTED WITH INTUMESCENT WHERE EXPOSED |
| 926.0 | 1-HOUR FIRE-RATED METAL STUD FRAMED GYPSUM BOARD PROTECTED CEILING ASSEMBLY PER UL DESIGN NO. 1508 |
| 1322.0 | CLIMBING WALL, N.I.C. |
| 1325.0 | COATED TEXTILE MEMBRANE - CLOSING GAP BETWEEN CLIMBING WALL AND OVERHANG |
| 2300.0 | MECHANICAL DUCT, PAINTED WHERE EXPOSED |
| 2303.0 | MECHANICAL GRILLE, PAINTED WHERE EXPOSED |
| 2311.0 | MECHANICAL ROOFTOP UNIT |
| 2610.0 | LIGHT FIXTURE |
| 2622.0 | LARGE OVERHEAD FAN |



A1 BUILDING SECTION - NS 5

SCALE: 3/32" = 1'-0"



